

**CULTURAL RESOURCE ASSESSMENT SURVEY  
PROJECT DEVELOPMENT AND ENVIRONMENT STUDY  
STATE ROAD (SR) 659 (COMBEE ROAD)  
FROM US 98 TO NORTH CRYSTAL LAKE DRIVE**

**POLK COUNTY, FLORIDA**

**Financial Project ID.: 440274-1-22-01  
Federal Aid Project No.: D117-089-B  
Work Program Item Segment No.: 440274-1-22-01  
ETDM No: 14326**



Florida Department of Transportation  
District One  
801 North Broadway Avenue  
Bartow, Florida 33830

The environmental review, consultation, and other actions required by applicable federal environmental laws for this project are being, or have been, carried out by FDOT pursuant to 23 U.S.C. § 327 and a Memorandum of Understanding dated December 14, 2016 and executed by FHWA and FDOT.

**March 2021**

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**March 2021**



## EXECUTIVE SUMMARY

The Florida Department of Transportation (FDOT) is conducting a Project Development and Environment (PD&E) Study to evaluate a 1.4-mile segment of State Road (SR) 659 (Combee Road) from US 98 to North Crystal Lake Drive in Polk County, Florida. The proposed improvements will enhance the multimodal mobility along the roadway with the addition of a two-way left turn lane for left-turning traffic and accommodations for pedestrians and bicyclists. Intersection improvements will be made to enhance safety and traffic flow. Additionally, the roadway will be converted from a rural typical section to an urban typical section with curb and gutter and a storm water collection system to improve drainage conditions. The project was evaluated through FDOT's Efficient Transportation Decision Making (ETDM) process as project No. 14326.

The purpose of this Cultural Resource Assessment Survey (CRAS) is to locate and identify any cultural resources within the project Area of Potential Effects (APE) and to assess their significance in terms of eligibility for listing in the National Register of Historic Places (NRHP). As defined in 36 CFR Part § 800.16(d), and recognized by *FS* 267, the APE is the “geographic area or areas within which an undertaking may directly or indirectly cause alterations in the character or use of historic properties, if any such properties exist.” Based on the scale and nature of the activities, the project has a limited potential for any indirect (visual or audible) or cumulative effects outside the immediate footprint of construction. Therefore, because of the project type and location of the proposed work, the archaeological APE was defined as the footprint of the improvements within the existing and proposed right-of-way (ROW) for the SR 659 (Combee Road) corridor and the historic/architectural APE was defined as the archaeological APE and immediately adjacent parcels. The fieldwork was completed between February of 2019 and September 2020.

All work was conducted to comply with Section 106 of the *National Historic Preservation Act* of 1966, as amended by Public Law 89-665; the *Archaeological and Historic Preservation Act*, as amended by Public Law 93-291; Executive Order 11593; and Chapter 267, *Florida Statutes (FS)*. All work was carried out in conformity with Part 2, Chapter 8 (“Archaeological and Historical Resources”) of the FDOT's *PD&E Manual* (FDOT 2020), and the Florida Division of Historical Resources' (FDHR) standards contained in the *Cultural Resource Management Standards and Operational Manual* (FDHR 2003), as well as with the provisions contained in the Chapter 1A-46, *Florida Administrative Code (FAC)*. Principal Investigators meet the *Secretary of the Interior's Historic Preservation Professional Qualification Standards* (48 FR 44716) for archaeology, history, architecture, architectural history, or historic architecture.

Archaeological background research, which included a review of the Florida Master Site File (FMSF) and the NRHP, indicated that no archaeological sites were recorded within the archaeological APE. One previously recorded site, 8PO04076, is approximately 100 meters (m) (328 feet [ft]) to the southeast and five other sites have been recorded within one mile. Site 8PO04076, a lithic scatter, was determined ineligible for listing in the NRHP by the State Historic Preservation Officer (SHPO). A review of relevant site locational information for environmentally similar areas within Polk County and the surrounding region indicated a varied probability for archaeological site occurrence. The background research also indicated that sites, if present, would be lithic and/or artifacts scatters. As a result of the field survey, no previously unrecorded archaeological sites were identified.

Historic/architectural background research included a review of the FMSF and the NRHP indicated five historic resources (8PO07219, 8PO08009, 8PO04065, 8PO04066, and 8PO04067) were previously recorded within the historic APE. These include two linear resources (8PO07219 and

8PO08009), and three Frame Vernacular style buildings (8PO04065, 8PO04066, and 8PO04067), all have been determined ineligible for listing in the NRHP by the SHPO. A review of relevant historic United States Geographical Survey (USGS) quadrangle maps, historic aerial photographs, and the Polk County Property Appraiser's data revealed the potential for 35 new historic resources 50 years of age or older (constructed in 1970 or earlier) within the APE (Faux 2019).

Historical/architectural field survey resulted in the identification and evaluation of 37 historic resources (8PO08162-8PO08196; 8PO08479 and 8PO08480). These include Frame Vernacular, Masonry Vernacular, Industrial Vernacular, and Minimal Ranch style buildings constructed between circa (ca.) 1958 and ca. 1969 as well as one linear resource. Overall, these resources are common examples of their respective architectural styles that have been altered or were built to basic engineering standards and are not of a unique design or a rare example of its type. In addition, background research did not reveal any historic associations with significant persons and/or events. Thus, these historic resources do not appear eligible for listing in the NRHP, either individually or as part of a historic district.

Based on the background research and results of the field survey, no cultural resources that are listed, eligible for listing, or that appear potentially eligible for listing in the NRHP were located within the APE. Therefore, it is the professional opinion of ACI that there will be no historic properties affected by this project.

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# 1.0 INTRODUCTION

## 1.1 Project Description

The Florida Department of Transportation (FDOT) is conducting a Project Development & Environment (PD&E) Study to evaluate a 1.4-mile segment of SR 659 (Combee Road) from US 98 to North Crystal Lake Drive in Polk County, Florida. A project location map is provided in **Figure 1.1**. Combee Road is a two-lane undivided minor arterial roadway with 4-foot wide paved shoulders and little to no sidewalk. The area adjacent to the roadway is a mix of industrial, retail/office, and residential land uses. The proposed improvements will enhance the multimodal mobility along the roadway with the addition of a two-way left turn lane for left-turning traffic and accommodations for pedestrians and bicyclists. Intersection improvements will be made to enhance safety and traffic flow. Additionally, the roadway will be converted from a rural typical section to an urban typical section with curb and gutter and a storm water collection system to improve drainage conditions. Pond sites will be part of this project. No survey of ponds was conducted but the Preliminary Pond Analysis is contained in **Appendix A**.

## 1.2 Purpose and Need

The purpose of this project is to enhance safety and multimodal access through a series of complete street strategies along SR 659 (Combee Road) from US 98 to Skyview Drive in Polk County. Improvements such as sidewalks, safer pedestrian crossings, bicycle facilities, and drainage and lighting improvements will be evaluated to enhance the corridor for all types of users. The need for the project is based on the following criteria:

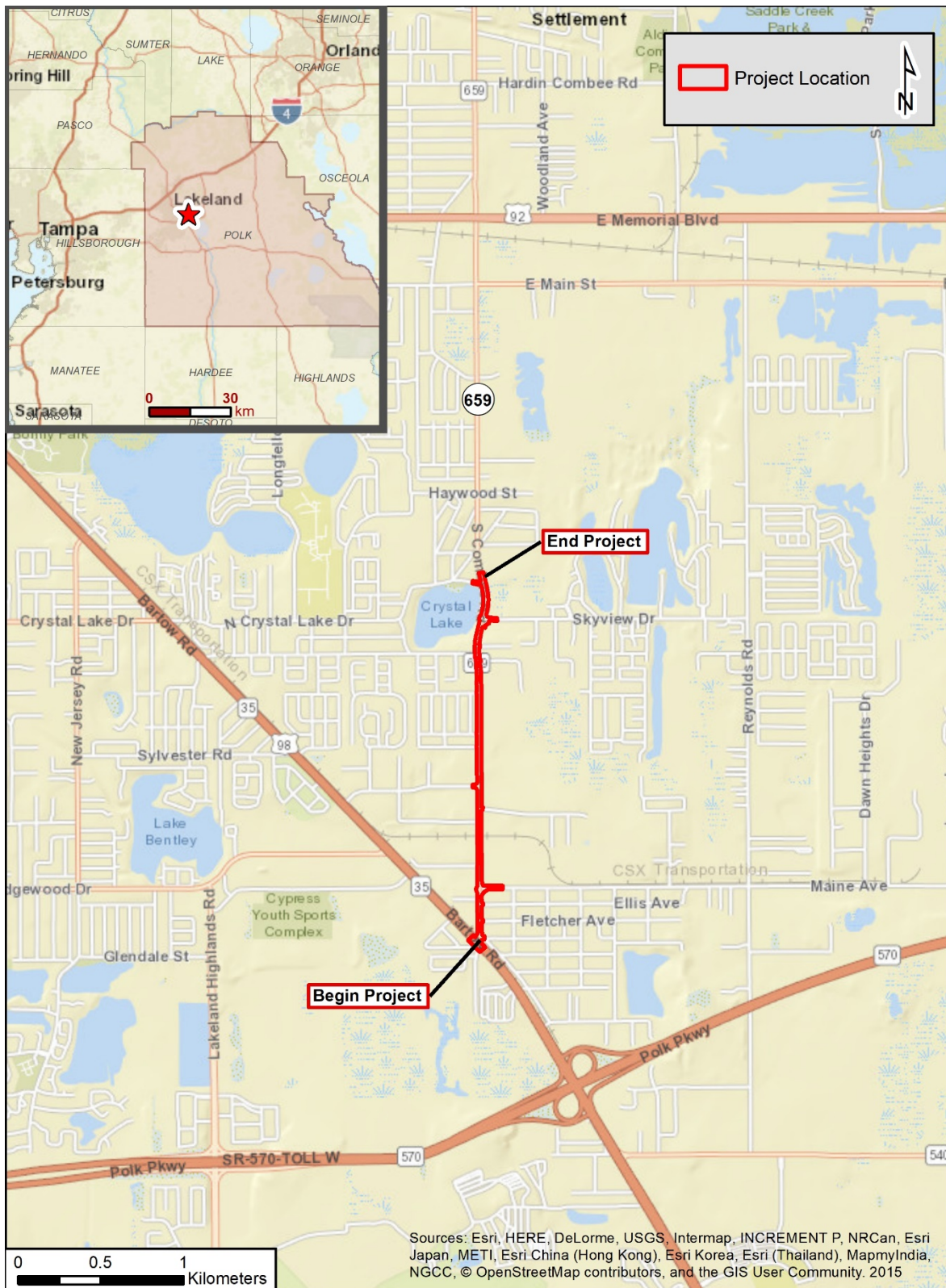
### 1.2.1 Modal Interrelationships

The primary purpose of the proposed project is to enhance mobility and access on this corridor for all road users considering context sensitive design opportunities and limitations. SR 659 (Combee Road) includes a mix of industrial, retail/office, and residential land uses. Despite the mixture of land uses and heavy volumes of pedestrian and bicycle traffic, the corridor is not well suited for walking or riding a bicycle. Additionally, there are eight transit stops within the corridor (five on the east side and three on the west side) that have minimal amenities and minimal separation from the roadway. Bicycle lanes consist of unpaved shoulders, and there are no pedestrian facilities along the roadway within the project limits except for minimal-width sidewalks on the west side near Commerce Point Drive (approximately 250 feet) and from Royal Street to Skyview Drive (approximately 500 feet). The proposed project will allow for better overall multimodal access to retail, employment, and residential destinations in the area.

### 1.2.2 Safety

SR 659 (Combee Road) experienced high rates of rear-end crashes, not at signalized intersections, between 2010 and 2014:

- Six rear-end crashes between US 98 and Maine Avenue,
- Four rear-end crashes between Maine Avenue and Commerce Point Drive, and
- 15 rear-end crashes between Commerce Point Drive and South Crystal Lake Road.



**Figure 1.1.** Location of SR 659 (Combee Road) corridor, Polk County, Florida.

The high rate of this crash type is likely attributed to congestion during peak hours where left turning traffic frequently blocks travel lanes and the high percentage of heavy trucks in the corridor mixed with non-truck traffic. Additionally, the project facility experienced two collisions involving pedestrians at Commerce Point Drive. If no improvements occur to the existing roadway, the greater the opportunity for vehicle-to-vehicle and vehicle-to-pedestrian/bicycle conflicts as traffic increases along the project facility.

SR 659 (Combee Road) has a safety ratio that ranges between 1.3 and 2.9, indicating that there are between one to almost three times as many crashes on this corridor than the State average for a similar facility type.

The proposed project is anticipated to improve safety conditions along the roadway by constructing a 12-foot center two-way left turn lane, two-foot curb and gutter on both sides, and six-foot enhanced sidewalks on both sides.

### **1.2.3 Transportation Demand**

The existing roadway is operationally deficient and is not able to safely accommodate the multiple transportation modes that use the corridor, which includes a mix of heavy trucks, passenger vehicles, transit buses, and non-motorized modes. During peak congestion hours, traffic queues build-up due to left-turn vehicles blocking travel lanes. The 2016 annual average daily traffic (AADT) for the corridor was 15,600 vehicles. SR 659 (Combee Road) serves as a freight route providing access to many industrial businesses in the area. Approximately 11.3% of the 2016 AADT on the roadway is composed of trucks. Not only does this roadway facilitate truck traffic and the distribution of goods to local activity areas, it functions as an important corridor for commuters due to its access to major transportation facilities and surrounding residential and commercial land uses. The project will improve the operational conditions of the corridor by increasing overall capacity, providing a dedicated center two-way left turn lane, and accommodating multiple modes of transportation.

### **1.2.4 Social and Economic Demand**

The complete streets improvement project will promote aesthetics and economic activity in the corridor by providing individuals with enhanced alternative transportation options and improved multi-modal access to businesses, residences, and community facilities in the area. Community facilities in the area that will benefit from improved accessibility include Oscar J. Pope Elementary School, South McKeel Elementary Academy, Crystal Lake Middle School, Southeastern University, churches, and restaurants.

### **1.2.5 Project Status**

The project is identified in the Polk TPO's Long Range Transportation Plan (LRTP) - Momentum 2045 - as part of the Tier II & III Cost Feasible Complete Street Corridors. Combee Road is also designated a "constrained" roadway in the LRTP, which designates this road as a candidate Congestion Management Plan corridor. The design has been funded for \$2,756,553 in Fiscal Year 2020 (FPID 440274-2), but the right of way or construction phases are currently not funded within the Polk TPO's Transportation Improvement Program (TIP) or within FDOT's State Transportation Improvement Program (STIP).

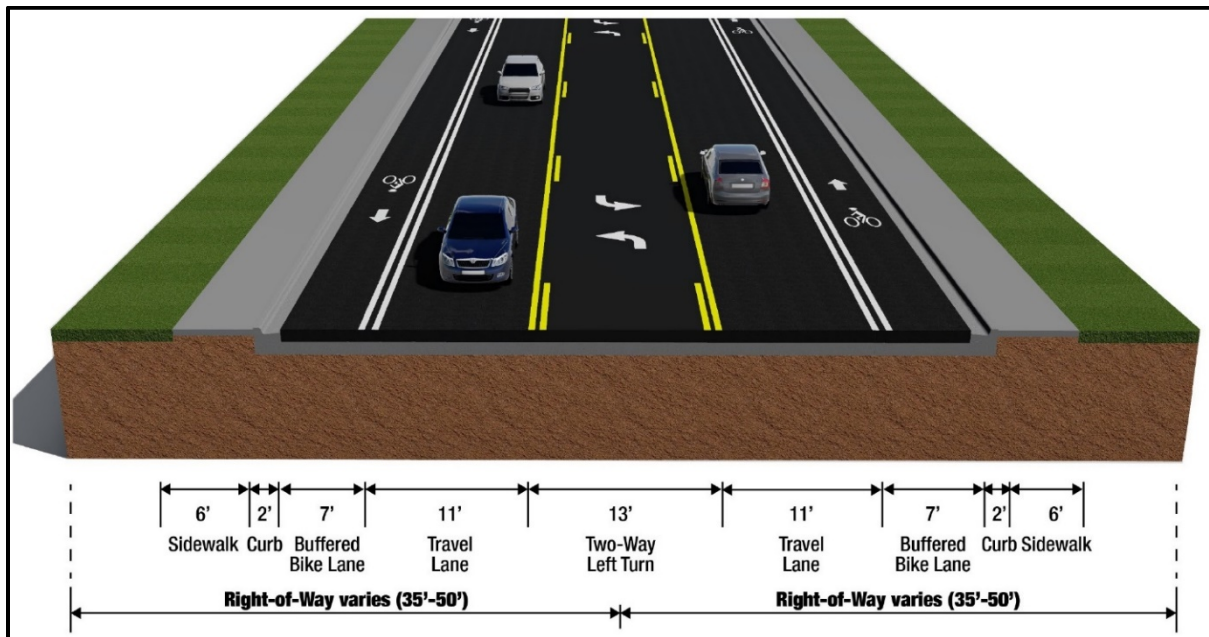


### 1.3 Alternatives Considered

Alternatives evaluated for this project include Alternative 1, Alternative 2, and the No-Build Alternative. The Preferred Alternative is Alternative 2.

#### 1.3.1 Alternative 1

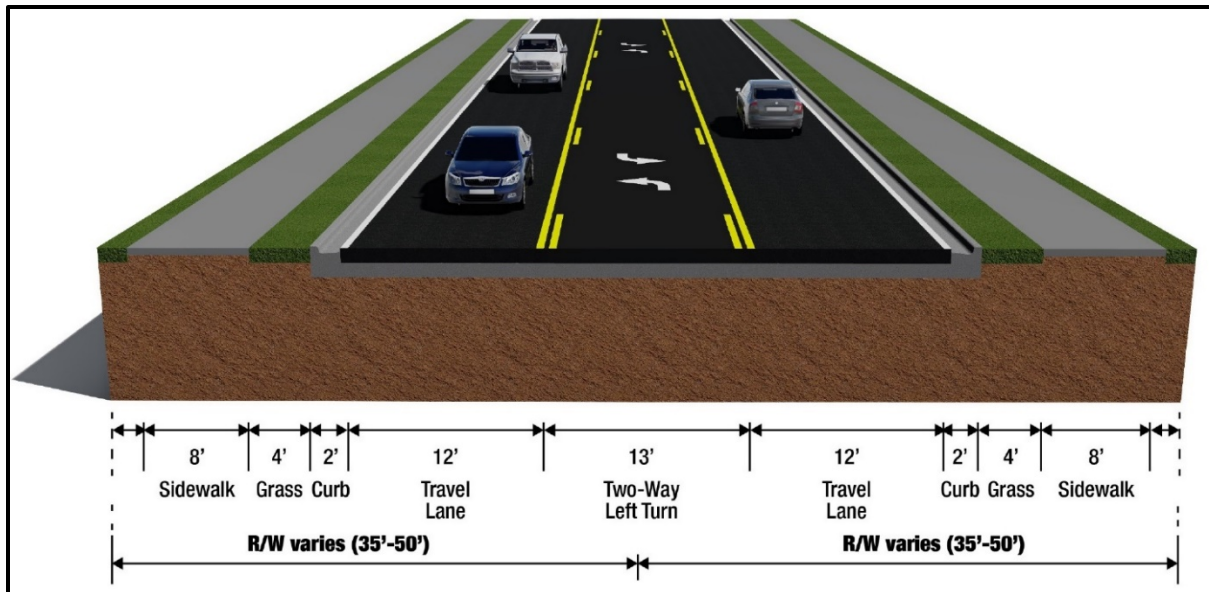
Alternative 1 proposes one lane in each direction separated by a 13-foot wide two-way left turn lane. This alternative includes 6-foot wide sidewalks for pedestrians and 7-foot wide buffered bicycle lanes for cyclists. The existing roadside stormwater ditches would be replaced by a closed drainage system with curb and gutter. As part of this alternative, roundabouts were considered at the intersections of Maine Avenue and Skyview Drive. The Alternative 1 typical section is provided in **Figure 1.2**.



**Figure 1.2.** Proposed Typical Section for Alternative 1.

#### 1.3.2 Alternative 2

Alternative 2 provides a more comfortable environment for pedestrians and cyclists. This includes 8-foot wide sidewalks and a 4-foot wide minimum buffer between the sidewalk and back of curb. Similar to Alternative 1, Alternative 2 provides one lane in each direction separated by a 13-foot wide, two-way left turn lane; however, no separate bicycle lanes are proposed. The proposed 12-foot wide, travel lanes provide greater maneuverability for trucks and transit vehicles that regularly use the corridor. The existing roadside stormwater ditches would be replaced by a closed drainage system with curb and gutter. As part of this alternative, roundabouts were considered at the intersections of Maine Avenue and Skyview Drive. The typical section for Alternative 2 is shown in **Figure 1.3**.



**Figure 1.3.** Proposed Typical Section for Alternative 2.

### 1.3.3 No-Build Alternative

The No-Build Alternative assumes no improvement to Combee Road other than routine maintenance. It provides a benchmark for comparative purposes with the Build Alternatives.

The advantages of the No-Build Alternative include the following:

- No impact to the adjacent natural, physical, and human environments
- No expenditure of funds for right-of-way acquisition or construction
- No utility impacts

The disadvantages of the No-Build Alternative include the following:

- Not consistent with the Polk TPO's Complete Streets Action Plan
- Does not enhance pedestrian and bicycle accommodations along the roadway
- Does not improve safety conditions
- Does not improve vehicular traffic operations

The No-Build Alternative remains a viable alternative throughout the study and the public involvement process.

## 1.4 Purpose of Report

All work was conducted to comply with Section 106 of the *National Historic Preservation Act* of 1966, as amended by Public Law 89-665; the *Archaeological and Historic Preservation Act*, as amended by Public Law 93-291; Executive Order 11593; and Chapter 267, *Florida Statutes (FS)*. All work was carried out in conformity with Part 2, Chapter 8 ("Archaeological and Historical Resources") of the FDOT's *PD&E Manual* (FDOT 2020), and the Florida Division of Historical Resources' (FDHR) standards contained in the *Cultural Resource Management Standards and Operational Manual* (FDHR 2003), as well as with the provisions contained in the Chapter 1A-46, *Florida*

*Administrative Code (FAC)*. Principal Investigators meet the *Secretary of the Interior's Historic Preservation Professional Qualification Standards* (48 FR 44716) for archaeology, history, architecture, architectural history, or historic architecture.

## **1.5 Area of Potential Effects (APE)**

As defined in 36 CFR Part § 800.16(d), and recognized by *FS 267*, the APE is the “geographic area or areas within which an undertaking may directly or indirectly cause alterations in the character or use of historic properties, if any such properties exist.” Based on the scale and nature of the activities, the project has a limited potential for any indirect (visual or audible) or cumulative effects outside the immediate footprint of construction. Therefore, because of the project type and location of the proposed work, the archaeological APE was defined as the footprint of the improvements within the existing and proposed ROW for the SR 659 (Combee Road) corridor and the historic/architectural APE was defined as the archaeological APE and immediately adjacent parcels. The fieldwork was completed between February of 2019 and September 2020.

## 2.0 ENVIRONMENTAL SETTING

Environmental factors such as geology, topography, relative elevation, soils, vegetation, and water resources are important in determining where prehistoric and historic period archaeological sites are likely to be located. These variables influenced what types of resources were available for utilization in a given area. This, in turn, affected decisions regarding settlement location and land-use patterns. Because of the influence of the local environmental factors upon the aboriginal inhabitants, a discussion of the effective environment is included.

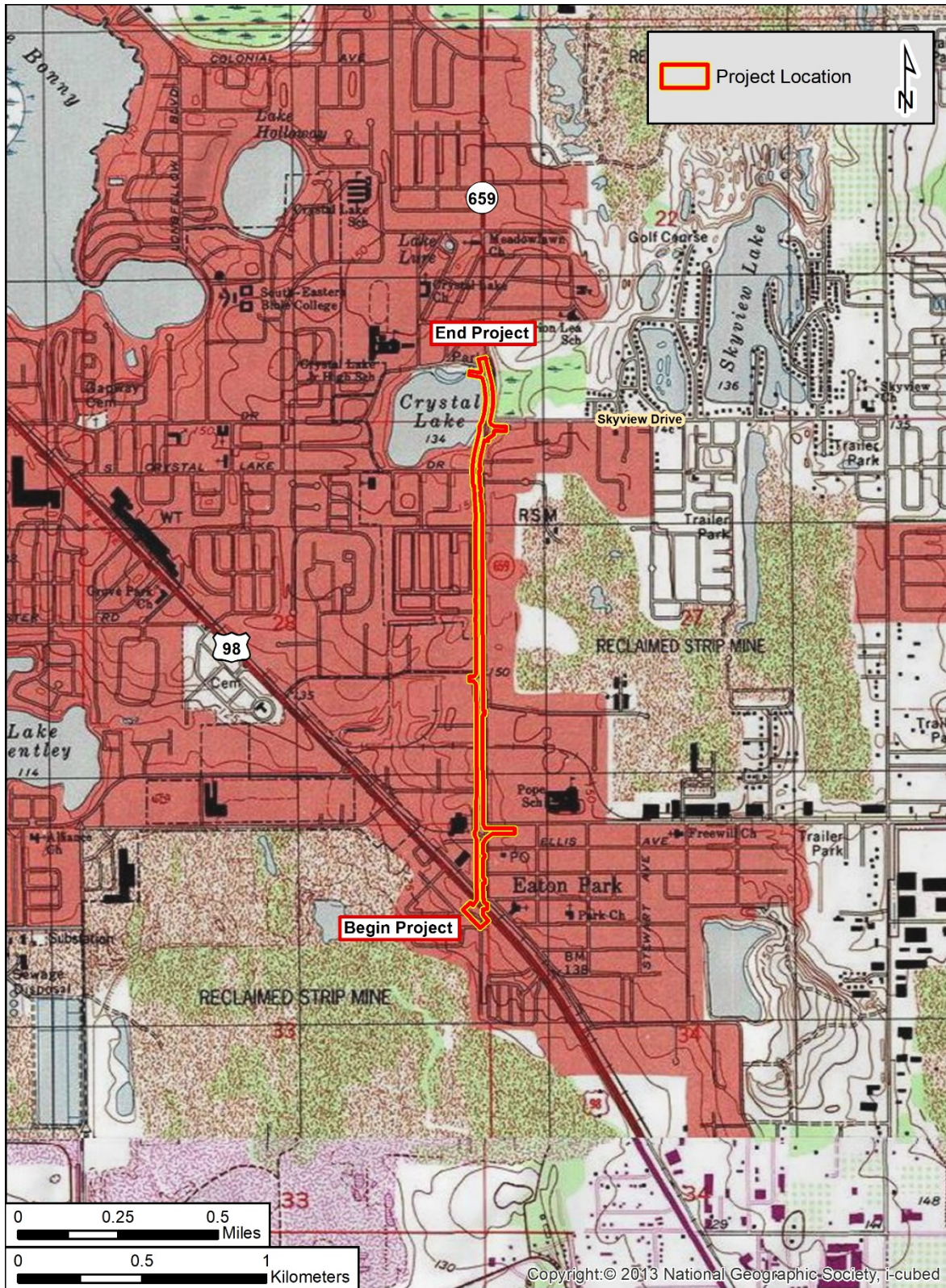
### 2.1 Project Location and Physical Setting

The APE is located in Sections 27-28 and 33-34 of Township 28 South, Range 24 East (United States Geological Survey [USGS] Lakeland) (**Figure 2.1**). The northern portion of the APE is situated just east of Crystal Lake. Land within the APE has been significantly modified by the construction of roads, sidewalks, ditches, utilities, and railroads. Multiple utilities, such as traffic signal and telephone cable lines; water, gas and sewage lines; and power pole corridors, are found throughout the APE. The current vegetation is dominated by grass and weeds on mostly maintained ROW (**Photos 2.1-2.4**). Additional photographs of the APE can be found in **Appendix B**. Large strip mines are to the east and southwest.



**Photo 2.1** Looking north at typical conditions found along the northwest portion of the APE. Crystal Lake is to the west (left in photo). Note modern disturbance within APE.





**Figure 2.1.** Environmental setting of the SR 659 (Combee Road) corridor.





**Photo 2.2.** Looking south at typical conditions found along the middle portion of the west side of the APE. Note modern disturbance within APE.



**Photo 2.3.** Looking west at conditions found along the south western portion of the APE. The testing is being conducted along Eaton Avenue, east of Combee Road. Note modern disturbance within APE.



**Photo 2.4.** Looking west northwest at conditions from Maine Avenue toward Combee Avenue. Note modern disturbance such as drainage, light poles, signage, and driveways within APE.

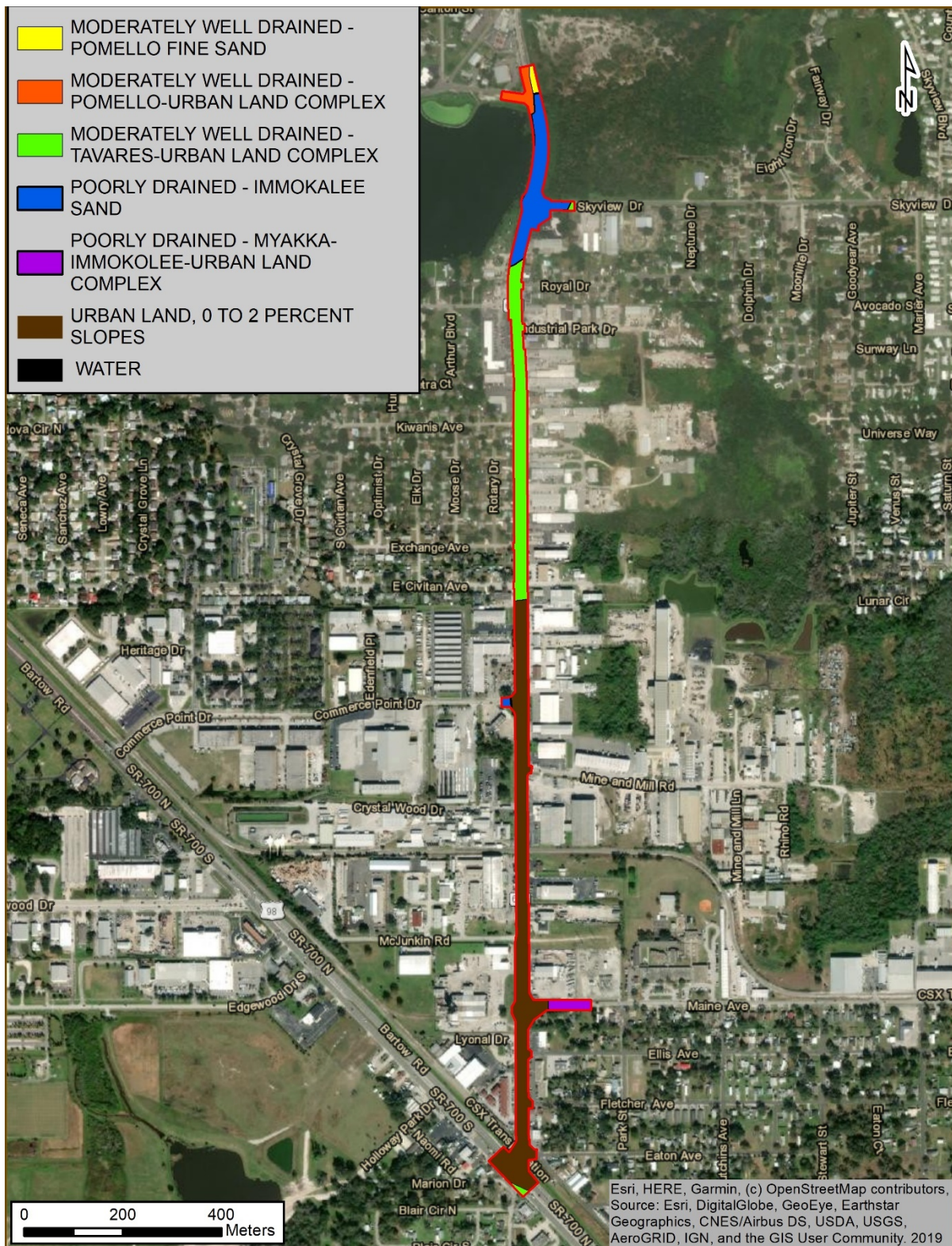
## **2.2 Physiography and Geology**

The APE is contained within the Central Highlands physiographic zone, and more specifically within the Polk Upland (White 1970). The project area is underlain by undifferentiated reworked Cypresshead sediments (Scott 2001; Scott et al. 2001). The surface lithology consists of clayey sand (Scott 1978). The project area ranges in elevation from 135-150 feet (ft) above mean sea level (amsl).

## **2.3 Soils and Vegetation**

According to the U.S. Department of Agriculture (USDA), the APE is within two soil associations: Arents-Hydraquents-Neilhurst in the northern portion and Candler-Tavares-Apopka in the southern portion. The Arents-Hydraquents-Neilhurst soil association soils that have been strip mined for phosphate or silica sand. The arent soils are well drained to excessively drained and consists of piles of soil material or overburden that originally overlaid the phosphate-bearing strata. The hydraquents are byproducts of the phosphate mining process, and the Neilhurst soils are excessively drained. They are byproducts of either the phosphate mining or silica mining process. The Candler-Tavares-Apopka soil association is characterized by nearly level to moderately sloping, excessively drained, moderately well drained, and well drained sandy soils of the uplands (USDA 1990). The natural vegetation consists of turkey oak, longleaf pine, slash pine, and live oak. Most of the project area is historically characterized as forests of longleaf pine and xerophytic oaks (Davis 1967). Soil types, and their characteristics, specific to the project APE, are shown on **Figure 2.2** and listed in **Table 2.1** (USDA 1990, 2018).





**Figure 2.2.** Soil types within the APE.



**Table 2.1.** Soil types within the APE.

SOIL TYPE & SLOPE	DRAINAGE	ENVIRONMENTAL SETTING
Urban land	Not assigned	Buildings, streets, houses, schools, shopping centers, and industrial complexes.
Immokalee sand	Poorly drained	Broad areas of flatwoods
Tavares-Urban land complex	Moderately well drained	Streets, driveways, houses, building, parking lots, and other structures
Pomello fine sand	Moderately well drained	Broad ridges and low knolls on flatwoods
Pomello- Urban land complex	Moderately well drained	Streets, driveways, houses, building, parking lots, and other structures
Myakka-Immokalee-Urban	Poorly Drained	Buildings, streets, houses, schools, shopping centers, and industrial complexes.

## 2.4 Paleoenvironmental Considerations

The early environment of the region was different from that seen today. Sea levels were lower, the climate was arid, and fresh water was scarce. An understanding of human ecology during the earliest periods of human occupation in Florida cannot be based on observations of the modern environment because of changes in water availability, botanical communities, and faunal resources. Aboriginal inhabitants would have developed cultural adaptations in response to the environmental changes taking place, which were then reflected in settlement patterns, site types, artifact forms, and subsistence economies.

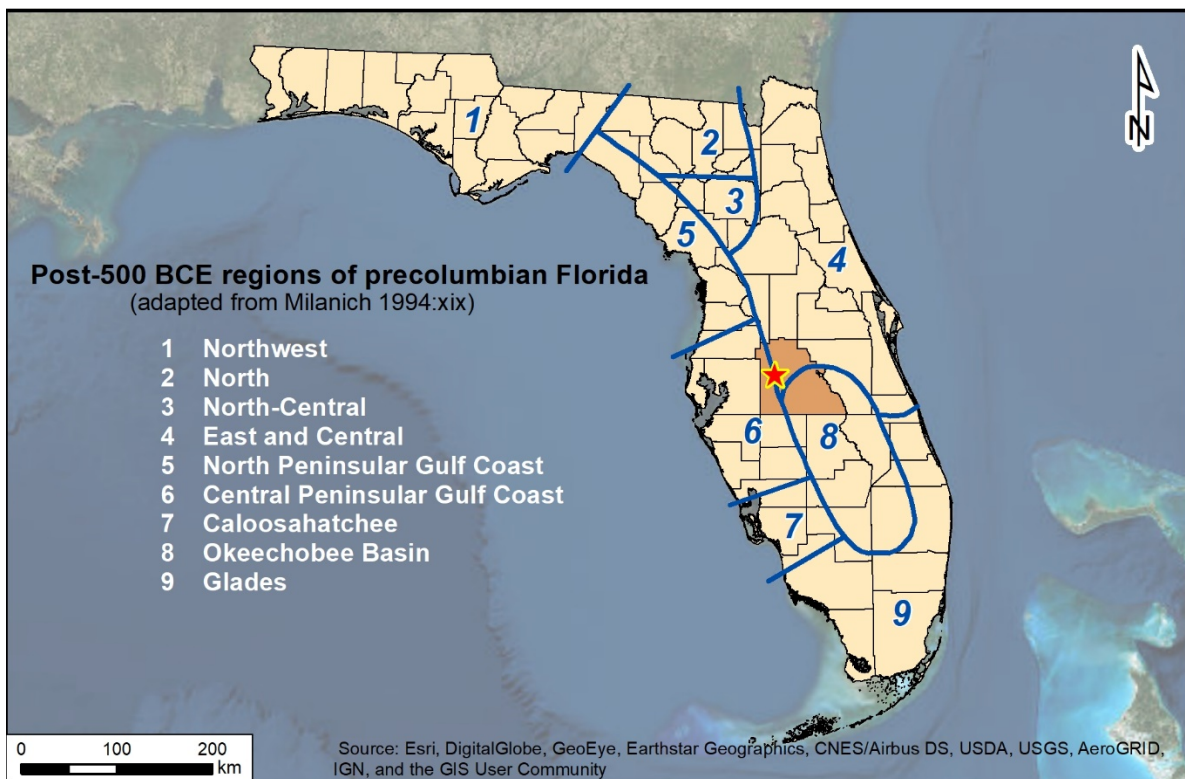
Due to the arid conditions between 16,500 and 12,500 years ago, the perched water aquifer and potable water supplies were absent. Palynological studies conducted in Florida and Georgia suggest that between 13,000 and 5000 years ago, this area was covered with an upland vegetation community of scrub oak and prairie (Watts 1969, 1971, 1975). However, the environment was not static. Evidence recovered from the inundated Page-Ladson Site in north Florida has clearly demonstrated that there were two periods of low water tables and dry climatic conditions and two episodes of elevated water tables and wet conditions (Dunbar 2006). The rise of sea level reduced xeric habitats over the next several millennia.

By 5000 years ago, a climatic event marking a brief return to Pleistocene climatic conditions induced a change toward more open vegetation. Southern pine forests replaced the oak savannahs. Extensive marshes and swamps developed along the coasts and subtropical hardwood forests became established along the southern tip of Florida (Delcourt and Delcourt 1981). Northern Florida saw an increase in oak species, grasses, and sedges (Carbone 1983). At Lake Annie, in south central Florida, pollen cores were dominated by wax myrtle and pine. The assemblage suggests that by this time, a forest dominated by longleaf pine along with cypress swamps and bayheads existed in the area (Watts 1971, 1975). About 5000 years ago, surface water was plentiful in karst terrains and the level of the Floridan aquifer rose to 5 ft above present levels. With the establishment of warmer winters and cooler summers than in the preceding early Holocene, the fire-adapted pine communities prevailed. These depend on the high summer precipitation caused by the thunderstorms and the accompanying lightning strikes to spark the fires (Watts et al. 1996; Watts and Hansen 1994). The increased precipitation also resulted in the formation of the large swamp systems such as the Okefenokee and Everglades (Gleason and Stone 1994). After this time, modern floral, climatic, and environmental conditions began to be established.

### 3.0 CULTURAL CHRONOLOGY

In general, archaeologists summarize the prehistory of a given area (i.e. the archaeological region) by outlining the sequence of archaeological cultures through time. Archaeological cultures are defined largely in geographical terms and reflect shared environmental and cultural factors. The APE is located on the dividing line between the East and Central and the Central Peninsular Gulf Coast regions, as defined by Milanich and Fairbanks (1980) and Milanich (1994) (**Figure 3.1**). It is likely that characteristic of both cultural regions can be found at sites through time. However, as is common in surveys conducted in the immediate area, the APE is included in the East and Central region. The spatial boundaries of the region are somewhat arbitrary, and it is after 500 B.C.E. that characteristic regional differences become more evident in the archaeological record. There are differences, however, evident as early as the Middle Archaic period when the characteristic Mount Taylor horizon develops along the St. Johns River.

The Paleo-Indian, Archaic, Formative, Mississippian, and Acculturative stages have been defined based on unique sets of material culture traits such as characteristic stone tool forms and ceramics, as well as subsistence, settlement, and burial patterns. These broad temporal units are further subdivided into culture horizons, phases or periods: Paleo-Indian (Clovis, Suwannee, Dalton), Early Archaic (Bolen, Kirk), Mount Taylor, Orange, St. Johns I, St. Johns Ia, St. Johns Ib, and St. Johns IIa, IIb, and IIc (**Table 3.1**). The Paleo-Indian and Early Archaic subdivisions have been put forth by Widmer (1988) and Austin (2001) based on work in the Caloosahatchee and Central Peninsular Gulf Coast archaeological regions and are likely applicable to most of the state. A brief summary of these periods follows.



**Figure 3.1.** Florida Archaeological Regions.

**Table 3.1.** East and Central cultural chronology and traits.

CULTURAL PERIOD TIME FRAME	CULTURAL TRAITS
Paleo-Indian 11,000-8,000 B.C.E.	Migratory hunters and gatherers; Clovis, Suwannee and Simpson projectile points; unifacial scrapers.
Early Archaic 8000-6000 B.C.E.	Hunters and gatherers; less nomadic; increased utilization of coastal resources; Greenbriar, Bolen, Arredondo, Hamilton and Kirk Serrated points; increase in population size and density.
Mount Taylor 6000-2000 B.C.E.	First occupation of the St. Johns River valley; evidenced by large freshwater shell middens; burials in wet environment cemeteries and middens; increased sedentism; shellfish is an increasingly important part of the diet; more evidence for coastal occupation; stemmed, broad bladed projectile points, Newnan points most common; steatite; fired clay objects.
Orange 2000-500 B.C.E.	Appearance of ceramics; Orange series is fiber tempered and molded; plain ceramics early on, incising during later periods; increase occupation of the coastal lagoons; cultigens may be utilized; toward end of period increased use of sand as a tempering agent and an apparent increase in population size, socio-political complexity, and territorial range.
St. Johns I 500 B.C.E.-100 C.E.	Plain and incised varieties of St. Johns ceramics; ceramics coiled, not molded; some pottery has fiber and quartz sand tempering; first use of burial mounds.
St. Johns Ia 100-500 C.E.	Village pottery was primarily plain; larger burial mounds, some containing log tombs; trade evidenced by exotic materials within the burial mounds; Dunns Creek Red ceramics are common.
St. Johns Ib 500-750 C.E.	Village pottery is plain; increased influence of Weeden Island populations; central pit burials within the mounds; some pottery caches in mounds
St. Johns IIa 750-1050 C.E.	St. Johns check stamped ceramics appear; increased use of burial mounds; mound burial seems to be saved for higher status individuals; pottery caches found in mounds; increase in size and number of villages; increase in the variety of burial patterns.
St. Johns IIb 1050-1513 C.E.	Evidence of Mississippian influence seen; continued use of plain and check stamped ceramics; platform mound make their appearance at some of the ceremonial complexes.
St. Johns IIc 1513-1565 C.E.	European artifacts occasionally found in the burial mounds and middens; Timucuan speaking groups; disease beginning to decimate the aboriginal populations.

The local history of the region is divided into four broad periods based initially upon the major governmental powers. The first period, Colonialism, occurred during the exploration and control of Florida by the Spanish and British from around 1513 until 1821. At that time, Florida became a territory of the U.S. and 21 years later became a State (Territorial and Statehood). The Civil War and Aftermath (1861-1899) period deals with the Civil War, the period of Reconstruction following the war, and the late 1800s, when the transportation systems were dramatically increased and development throughout the state expanded. The Twentieth Century period includes subperiods defined by important historic events such as the World Wars, the Boom of the 1920s, and the Depression. Each of these periods evidenced differential development and utilization of the region, thus effecting the historic site distribution.

### 3.1 Paleo-Indian

The Paleo-Indian stage is the earliest cultural manifestation in Florida, dating from roughly 11,000 to 8000 B.C.E. (Austin 2001; Milanich 1994). Archaeological evidence for Paleo-Indians consists primarily of scattered finds of diagnostic lanceolate-shaped projectile points. Clovis points

characterize the Clovis horizon (ca. 11,000-10,000 B.C.E.), Suwannee and Simpson points are the diagnostic forms for the Suwannee horizon (10,000-9,000 B.C.E.), and the Dalton horizon (9000-8000 B.C.E.), which is poorly understood in the state, is identified by the presence of Dalton points. During this late Paleo-Indian period, the large lanceolate-shaped Suwannee and Simpson points may have been replaced by the smaller Tallahassee, Santa Fe, and Beaver Lake types (Milanich 1994:53). However, more often than not, these latter point types are most often recovered from Late Archaic or Early Woodland period components as opposed to Paleo-Indian ones (Austin 2001; Farr 2006).

The majority of Paleo-Indian sites are associated with the rivers in the north-central portion of Florida (Dunbar and Waller 1983). At that time, the climate was cooler and drier. Vegetation was typified by xerophytic species with scrub oak, pine, open grassy prairies, and savannas being the most common (Milanich 1994:40). Sea levels were as much as 35 m (115 ft) below present levels and the coastal regions extended miles beyond present day shorelines (Milliman and Emery 1968). Miller (1998) suggests that around 10,000 years ago, along the Atlantic coast, the shoreline may have been 100 m (62 mi) to the east and sea level roughly 82 m (269 ft) below present levels. It is probable that many of the sites dating from this time period have been inundated (Clausen et al. 1979; Dunbar 1997; Ruppé 1980; Scholl et al. 1969).

Some of the information about the Paleo-Indian period is derived from underwater excavations at two inland spring sites in Sarasota County: Little Salt and Warm Mineral Springs (Clausen et al. 1979). Traditionally, this time was characterized by small nomadic bands of hunters and gatherers. Daniel (1985) has proposed a model of early hunter-gatherer settlement that suggests that some Paleo-Indian groups may have practiced a more sedentary lifestyle than previously believed. Since the climate was cooler and much drier, it is likely that these nomadic bands traveled between permanent and semi-permanent sources of water, exploiting seasonally available resources. This has been referred to as the Oasis hypothesis (Dunbar 1991). These watering holes would have attracted the animals upon which the Indians hunted, thus providing food and drink. In addition to being tied to the water resources, most Paleo-Indian sites are also located proximate to sources of good quality lithic raw materials (Daniel 1985; Daniel and Wisenbaker 1987; Dunbar 1991; Goodyear et al. 1983). Given these parameters, (Miller 1998:54-57) suggests a higher probability for Paleo-Indian occurrence around or near Salt Springs, Silver Glen Springs, and Fern Hammock Springs. In addition to these specific locales, he considers the Crescent Ridge, located between the St. Johns River and Crescent Lake, and areas of surficial exposure of Hawthorn and Avon Park Formations to have higher probabilities for Paleo-Indian occupations.

Excavations at the Harney Flats Site in Hillsborough County (8HI00507) has provided a rich body of data concerning Paleo-Indian lifeways (Daniel and Wisenbaker 1987). It has been suggested that Paleo-Indian settlement may “not have been related as much to seasonal changes as generally postulated for the succeeding Archaic period,” but instead movement was perhaps related to the scheduling of “tool-kit replacement, social needs, and the availability of water,” among other factors (Daniel and Wisenbaker 1987:175). The excavations at the Colorado Site in Hernando County revealed a Paleo-Indian lithic workshop and encampment where that manufacture of blanks appears to have been a major site function (Horvath et al. 1998). The numerous expedient flake tools and the relative lack of formal tool forms may suggest that this site may date from the later Paleo-Indian period when foraging adaptations characterized by high residential mobility and expedient technologies became more prominent (Anderson 1996; Cable 1996).

Evidence for Paleo-Indian occupation within the East and Central region is limited. This area is, however, outside of the Suwannee/Simpson macroband area postulated by Anderson (1996:38). A

few of the sites recorded to the northwest of the project area had possible Paleo-Indian artifacts including unifaces and patinated materials (Johnson 1998). The Nalcrest Site located on Lake Weohyakapka in southeastern Polk County has yielded a distinctive microlithic tool assemblage that may be datable to the Late Paleo-Indian and/or succeeding Early Archaic time (Bullen and Beilman 1973). However, more recent research suggests that the microlithic technology is associated with Middle to Late Archaic period components (ACI/Janus 2001; Thomas and Campbell 1991).

### **3.2     Archaic**

The beginning of the Archaic is denoted by interrelated environmental and cultural changes. The environmental changes associated with the end of the Pleistocene necessitated modification of the extant prehistoric settlement patterns and subsistence strategies. Whereas the Paleo-Indians depended more heavily upon the Pleistocene megafauna and the relatively limited number of freshwater sources, Archaic populations hunted smaller game and learned to effectively exploit their changing environment. The gradual environmental changes led in part to the extinction of the Pleistocene fauna as well as resulted in the change in composition and distribution of various vegetative communities (Miller 1998). The adaptive changes of the aboriginal populations resulted in an increase in the number and types of archeological sites, such as marine and freshwater shell middens. The effects of the changing environment also can be seen in the variation in site locations. Although Early Archaic materials are often found in association with Paleo-Indian deposits, especially around water sources, other Early Archaic sites are located in areas devoid of Paleo-Indian components.

Early Archaic sites are recognized by the presence of Greenbriar and Bolen points as well as Kirk, Hardee Beveled, Hamilton, Arredondo, Sumter, and Thonotosassa varieties (Bullen 1975). Milanich (1994:64) notes that there are no well-documented Early Archaic coastal or riverine shell midden sites. This may be due to sea level rise as opposed to avoidance of these areas. Discoveries at Little Salt Spring in Sarasota County (Clausen et al. 1979) and the Windover Site (Doran 2002) in Brevard County indicate that bone and wood tools, as well as fabric and cordage, were an important part of the material culture. The archaeological record suggests a pattern of exploiting both coastal and interior resources. Most Early Archaic sites are small, seasonal campsites. This type of site may suggest that small bands moved seasonally in search of food. The Early Archaic tool assemblages are more diverse than the preceding Paleo-Indian tool kits, and include specialized stone tools for performing a variety of tasks (Milanich and Fairbanks 1980).

During the Middle Archaic, wetter conditions prevailed, sea levels began to rise, and pine forests and swamps began to emerge (Watts et al. 1996). The climate was changed to one of more pronounced seasonality with warmer summers and colder winters though by 4000 B.C.E. the climate became essentially the same as that of today (Watts et al. 1996:29). Settlement became focused within coastal and riverine locales (Milanich 1994:64). The Mount Taylor period has been identified for the time of roughly 5000-2000 B.C.E. (Milanich 1994). Subsistence was based on hunting, fishing, shellfish collecting, and plant gathering. Sites are generally located along the Atlantic coast or along the upper reaches of the St. Johns River and the Ocklawaha and Wekiva Rivers (Ste. Claire 1990; Weisman 1993; Wheeler et al. 2000).

About 4000 B.C.E., present-day vegetation patterns became established; hammocks of broad-leaved mesic trees, pine forests on uplands, and bayhead and cypress swamps became significant plant communities (Watts 1971). The archaeobotanical research at the Groves' Orange Midden (4260-2130 B.C.) and the Lake Monroe Outlet Midden (4040-3090 B.C.E.) confirms an environment similar to that which is present today (ACI/Janus 2001; Newsom 1994; Purdy 1994). Most of the botanical remains

were from wetland species, including trees and shrubs common along the lake margin, river swamp, and backwaters. Upland species were also utilized. It is believed that populations combined hunting and gathering into a productive subsistence strategy, and as a result, occupation became more sedentary and village life began (Milanich and Fairbanks 1980:147-152). Middens of mystery snail, apple snail, and mussel provide evidence of occupation and resource exploitation along the rivers of east and central Florida (Cumbaa 1976; Ellis et al. 1994; Fryman et al. 1978). The Lake Monroe Outlet Midden is somewhat anomalous in that the mystery snail was not a major portion of the subsistence economy, rather apple snail and mussel were much more important (ACI/Janus 2001).

According to Milanich and Fairbanks (1980:151), one of the most interesting aspects of the Mount Taylor culture is evidence for mass burial interments in specially prepared areas within shell middens. Such burials were found at Tick Island along the St. Johns River (Aten 1999; Bullen 1962; Jahn and Bullen 1978). Milanich (1994:81) suggests that Early and Middle Archaic peoples used aquatic environments for burial. The Early Archaic Windover Site, located near Titusville, contained primary and flexed burials within a peat pond. These were held in place with wooden stakes and the interments included grave goods such as textiles and worked bone, shell, and wood (Adovasio et al. 2002; Andrews et al. 2002; Dickel 2002; Doran 2002; Penders 2002). Underwater interments have also been recovered from the Middle Archaic Bay West Site near Naples, Republic Groves Site in Hardee County, and Nona's Site in southeast Sarasota County (Beriault et al. 1981; Luer 2002; Wharton et al. 1981). Each site, like Windover, had an adjacent land component evidenced by a midden. The Gauthier cemetery, dating from the Middle to Late Archaic, was situated on a palm island within a slough between a pond and Lake Poinsett, and contained primary and flexed burials (Carr and Jones 1981). The burial mound at Tomoka (8VO00051) is one of the earliest in Florida (Piatek 1994). Russo (1996:284) suggests though that the Archaic burials mounds of Florida (Tomoka and Horr's Island) were not the precursors to the extensive burial mound use seen in the more recent past, rather, they were short-lived, dead-end traditions.

The Middle to Late Archaic/Mount Taylor sites recorded throughout the state include large base camps, smaller special-use campsites, quarries, and burial areas and within East Florida, extensive shell middens. The large stemmed projectile points, especially the Newnan type, are diagnostic of Middle and Late preceramic Archaic period sites. Other common point types include Hillsborough, Levy, Putnam, Alachua, and Marion (Bullen 1975). In addition, silicified coral was more prevalent as a lithic tool raw material (Milanich 1994) and thermal alteration of the stone became more common (Ste. Claire 1987). Interior sites include the smaller lithic scatter campsites that were most likely used for hunting or served as special use extractive sites for such activities as gathering nuts or other botanical materials (Ste. Claire 1989, 1990). Evidence for canoes from this time period is well documented, and in fact, many of the canoes recovered from Florida waters have dated to the Archaic (Newsom and Purdy 1990; Purdy 1988; Wheeler et al. 2003). The earliest canoe comes from DeLeon Springs, and is roughly 6000 years old (Newsom and Purdy 1990).

By about 2000 B.C.E., the firing of clay pottery made its appearance in Florida. The first ceramics types had fibers (Spanish moss or palmetto) as the tempering agents within the clay. These wares are referred to as the Orange series. The Orange period was divided into subperiods based on a variety of ceramic attributes (Bullen 1955b, 1972; Milanich 1994). However, recent research has called the entire Orange chronology into question (Sassaman 2003) and all the various Orange ceramic types occur within the time span of roughly 4100-3600 years ago. In addition, research by Cordell (2004) has documented the presence of sponge spicules in the Orange ceramic paste (the diagnostic trait of St. Johns wares) which suggest that the St. Johns ceramic tradition extends back to the beginning of the ceramic technology in the region (Sassaman 2003:11).

Milanich (1994) and Miller (1998) indicate that there is little difference between Middle/Late Archaic and Orange populations except that there are more Orange Period sites and the density of sites is higher. Orange settlements were primarily located near wetland locales. The abundance of resources located in and near the wetlands permitted larger settlements. This change in settlement patterns may be related to environmental changes resulting from the establishment of current sea levels. By the end of the Middle Archaic, the climate closely resembles that of today's vegetation changed from those species that preferred moist conditions to pines and mixed forests (Watts and Hansen 1988). Sea levels rose, inundating sites located along the coastal and riverine shorelines (McGee and Wheeler 1994; Ruppé 1988). The adaptation to this environment allowed for a wider variety of resources to be exploited and greater variability in settlement patterns. Shellfish, fish, and other food sources were now available from coastal and freshwater wetlands resulting in an increase in population size. Other evidence suggests that at least some of the sites were being occupied on a year-round basis (Russo 1992; Russo et al. 1993; Russo et al. 1992). Russo and Ste. Claire (1992) suggest that the occupations in these two major environmental locales were, in fact, separate cultural entities, not one group migrating back and forth. Although there is a similarity in ceramic types, settlement and subsistence patterns are quite different between the two (Russo 1988).

Bridging the close of the Archaic stage and the beginning of the Formative is the Florida Transitional period, circa (ca.) 1200 to 500 B.C.E., as defined by Bullen (1959). Milanich (1994), Miller (1991), Russo et al. (1993), Shannon (1986), and others suggest that assemblages from this "period" cannot be discerned with any accuracy from the preceding or following periods. In general, this time was characterized by increased regionalism, population growth, and socio-cultural complexity (Bullen 1959, 1970). Exploitation of shellfish, fish and wild plants, as well as a reliance on hunting, was continued (Bullen 1959, 1970; Bullen et al. 1978), and limited horticulture may have been engaged in at this time (Milanich and Fairbanks 1980). Russo (1992:114) however, notes that there is no known evidence in this area for horticulture during this time. The Florida Transitional period is identified by the presence of St. Johns Incised ceramics (Bullen 1955b, 1972; Milanich 1994; Miller 1998). Bullen hypothesized that during the Florida Transitional period, the diffusion of culture traits, resulting from the movements of small groups of people, led to the spread of several ceramic and tool traditions (Bullen 1959). "The major changes in post-Transitional cultures cannot be attributed to environmental changes but rather appear to be the result of social, political, religious, and technological innovations introduced from elsewhere in the eastern United States" (Miller 1998:76).

In the East and Central region, fiber-tempered pottery was slowly replaced by temperless wares (St. Johns series) and by sand-tempered ceramics. Among the sites in the region dating from this time are Bluffton in Volusia County (Bullen 1955b; Wheeler et al. 2000), the Lake Jennie Jewel and Zellwood (Bullen et al. 1974) sites in Orange County, and the Zabski Site (Atkins and MacMahan 1967; Bullen 1972) on Merritt Island in Brevard County. Dickinson and Wayne (1996) report a Transitional period component at the Sligh Site (8SE01332) based upon the recovery of Orange Simple Stamped and St. Johns Incised and Punctated sherds.

### **3.3 Formative/Acculturative**

The period from about 500 B.C.E. until 750 C.E. in the East and Central Lake region is referred to as St. Johns I, which has been divided into three temporal sub-periods: St. Johns I (500 B.C.E.-100 C.E.), St. Johns Ia (100-500 C.E.), and St. Johns Ib (500-750 C.E.) based primarily on characteristic ceramic types (Milanich 1994:247).

There are regional variants of this basic cultural tradition: the St. Marys to the north and the Indian River to the south. The St. Marys Region is located at the mouth of the St. Johns and extends northward into Georgia (see Ashley and Rolland 2002; Russo 1992). Sites in this area contain a mixture of Georgia ceramics as well as St. Johns ceramics. At the southern end of the East and Central Region is the Indian River Region which was first defined by Rouse (1951). There is a much higher prevalence of sand-tempered wares in this region.

Settlement patterns during this time were virtually the same as that seen for the earlier Mount Taylor and Orange periods, i.e. along the coastal estuaries and larger rivers. The faunal analysis conducted at the Twin Mounds Site (8OR00459) along the Wekiva River suggests that there was a slight decrease in the dependence on freshwater shellfish during the St. Johns periods as opposed to the preceding Orange period (Weisman 1993). Based on that analysis, there was an increase in the use of reptilian resources. There was also a tremendous increase in the number of archaeological sites during this time. An apparent trend from St. Johns I through Ib times was a population shift into the northern part of the St. Johns River valley, possibly due to the need for more arable land (Milanich and Fairbanks 1980:158).

Village wares were almost all St. Johns Plain throughout this period. St. Johns Incised is associated with the early St. Johns I period. Deptford and Swift Creek pottery or copies are occasionally present in St. Johns I and Ia subperiods. St. Johns Cordmarked ceramics are associated with the St. Johns Ia period while Dunns Creek Red is associated with the St. Johns Ia and Ib periods.

Evidence of the continuous use of burial mounds begins at this time. Many of the burials were found in large central pits, probably the result of secondary interments. Some changes in the burial practices include the possible use of log tombs during the St. Johns Ia period as well as inclusion of Hopewellian-Yent complex exotic trade items (Milanich 1994:261). Much of the information on St. Johns I period burial practices have been obtained from the Ross Hammock Site in Volusia County (Bullen et al. 1967). This site complex consists of two large burial mounds and an extensive village midden located on the west shore of Mosquito Lagoon. A large polished stone celt was recovered from Mound 1, and this artifact type was reportedly common in Weeden Island burial mounds on the Florida Gulf Coast (Bullen et al. 1967:16).

Year-round occupation of the coast and along the rivers occurred with special use-activity sites located in other locales and short-term campsites on the coast as well. Excavations at the Sligh Site (8SE01332) and the Lake Jessup South Site (8SE00580), located on the south shore of Lake Jessup, suggest that these sites served as villages or long-term encampments (Dickinson and Wayne 1996; Wayne and Dickinson 1993). There was a wide variety of tools and an abundance of ceramics suggesting a relatively sedentary group. Hunting, food preparation, and tool making were common site activities. The site pattern “consists of small, probably individual household midden deposits with structural evidence limited to arcs of shallow post holes, often shell-filled, and firepits” (Dickinson and Wayne 1996:108). The Hontoon Island Site (8VO00202) located within the St. Johns River southwest of Lake Beresford, has provided a wealth of data due to the preservation of many classes of artifacts within the inundated midden deposits. Evidence of an extensive wood-working tradition is noted by the numerous carved items recovered from the river around the site as well as the debitage remaining from the carving activities (Bullen 1955a; Purdy 1987). The analysis of the faunal and botanical remains suggested that the site was occupied on a year round basis and that most of the resources were collected within 5-10 km (3-6 mi) of the site (Newsom 1987; Wing and McKean 1987).



The St. Johns II period has also been sub-divided into three sub-periods: St. Johns IIa (750-1050 C.E.), St. Johns IIb (1050-1513 C.E.), and St. Johns IIc (1513-1565 C.E.). The St. Johns IIa-c periods are marked by the presence of St. Johns Check Stamped pottery. “St. Johns II carries on the tradition and is marked only by the introduction of check-stamped pottery” (Goggin 1952:70). Occupation of riverine and coastal shell middens continued, although Miller (1998:80) notes that there is a relative increase in the number of non-riverine and non-coastal sites, perhaps as the result of locating sites in more agriculturally suited locales. Such sites are quite numerous, suggesting the possibility of an increase in population.

Milanich and Fairbanks (1980) suggest that hunting and gathering remained important but the dependence upon cultivated crops such as maize, squash, and gourds increased. The use of gourds as domesticates is still being studied as there is no evidence for cultivation even though gourds and squashes have been around for thousands of years prior to this period (Newsom et al. 1993). Sigler-Eisenberg and her colleagues (1985), however, suggest that in the upper St. Johns basin, the practice of horticulture was not adopted. Russo (1984) and Sigler-Eisenberg (1984a) further indicate that the wetland ecology and subsistence strategies were different. At the Gauthier Site, fish and aquatic turtles were the primary subsistence items, with relatively little reliance upon terrestrial game or freshwater shellfish (Sigler-Eisenberg 1984b). Seasonal utilization of the various coastal resources continued. The species exploited were dependent upon micro-environmental factors such as salinity and hardness of the lagoon bottom. The faunal remains recovered from the Castle Windy Site were indicative of a winter occupation (Bullen and Sleight 1959). However, other St. Johns II sites such as Palmer and Fletcher were occupied during the fall (Miller 1980).

There was an increase in the number and size of villages during the St. Johns IIa period suggesting population expansion. A ranked society evolved as evidenced by the differential burial customs. No longer were all people interred in burial mounds. Deagan (1978:109) notes that around 1000 C.E. a population shift from the more southern and southwestern areas into the northern areas is evidenced by changes in relative frequencies of burial mounds in the areas over time. The Thursby Mound on the St. Johns River in Volusia County as well as two smaller habitation sites on the south shore of Lake Mizell in Orange County (Swindell et al. 1977:14), among others, date to this period. Excavations at the Burns, Ormond Beach, and Fuller Mounds A and D, revealed a new burial pattern in that the burials were placed on their backs with their heads or feet pointing toward the center of the mound (Jennings et al. 1957; Willey 1954).

The St. Johns IIb period is characterized by the adoption of some Mississippian traits into the ceremonial system as well as the presence of St. Johns Simple Stamped ceramics. The Mississippian lifestyle, however, never became dominant, possibly because the soils were not suitable for full agricultural pursuits. A more complex socio-political organization is suggested by the presence of platform mounds at the ceremonial centers. These include the Shields Mound, Mount Royal, and the Thursby Mound, all of which were excavated by C. B. Moore (Moore 1894a, 1894b). Copper beads and ornaments as well as greenstone celts have been recovered from several sites and suggest contact with cultures to the north and northwest of Florida.

The St. Johns IIc period is marked by the introduction of European artifacts in some of the mounds. The historic aboriginal occupants of the region were the Timucua, Mayaca, and possibly the Ais. The Timucuans shared a common language but cannot be considered as a specific cultural group because the range of the Timucuan speakers “... was crosscut by dialect, techno-environmental, ceremonial, political and geographical differences” (Deagan 1978:89). The project area lies within the territory of the Jororo, who were south of Mayaca and west of the Ais, in Orange, Polk, and Highlands

Counties (Milanich 1995). Although these Indians apparently continued the St. Johns tradition, they did not share the same Timucuan language as many of the other St. Johns historic counterparts (Milanich 1995). Excavations at Hontoon Island suggest that these people pursued a hunting-gathering-fishing economy without any major agricultural pursuits (Newsom 1987). Missionization of the Jororo began in the late seventeenth century (Hann 2003).

The arrival of the Europeans in the 1500s began a period of extensive social and cultural upheaval. Many of the traditional ways of life were destroyed or abandoned. Warfare and European diseases brought an end to the aboriginal inhabitants and their cultures. Missionization of the Jororo and Mayaca began in the late 1600s, and in 1728 Joseph de Bullones wrote to the king that the Jororo were “gone” (Hann 2003:132). Evidence of European contact with the central Florida Indians is seen at the Phillip Mound, west of Saint Cloud, and in the Goodnow Mound, near Sebring (Milanich 1995). Due to the attempts of the Spanish military and missionaries to alter the traditional lifeways, by the end of the seventeenth century these aboriginal populations were virtually extinct. Raids in the early eighteenth century by Indian groups allied with the English drove many of the Mayaca and Timucuans to seek refuge near St. Augustine where most perished in warfare or because of epidemics (Hann 1993:133; Milanich 1995). By the first half of the 18th century, the native populations had all but vanished (Neill 1968), and groups of Creek Indians, who came to be known as Seminoles, moved into Florida. Archaeologically, Seminole sites are poorly understood. A number of Seminole period sites are recorded within Polk County, but none of them have received sufficient archaeological investigations (Carr and Steele 1993).

### **3.4 Colonialism**

The cultural traditions of the native Floridians ended with the European expeditions to the New World. The initial events, authorized by the Spanish Crown in the 1500s, ushered in devastating European contact. After Ponce de Leon’s landing in northeast Florida and circumnavigation of the peninsula in 1513, official Spanish explorations were confined to the west coast of Florida until 1565. Florida’s east coast, lacking deep water harbors like Tampa Bay and Charlotte Harbor, was left to a few shipwrecked sailors from treasure ships which, by 1551, sailed through the Straits of Florida on their way to Spain.

Between 1513 and 1558, Spain launched several expeditions of exploration and, ultimately failed, colonization of *La Florida*. Archaeological evidence of contact can be found in the form of European trade goods such as glass beads, bells, and trinkets recovered from village sites.

Prior to the settlement of St. Augustine in 1565, European contact with the indigenous peoples was sporadic and brief; however, the repercussions were devastating. The southeastern Native American population of 1500 has been estimated at 1.5 to 2 million (Dobyns 1983). Following exposure to Old World diseases such as bubonic plague, dysentery, influenza, and smallpox, epidemics to which they had no immunity, the Native American population of the New World was reduced by as much as 90% (Ramenofsky 1987). The social consequences of such a swift and merciless depopulation were staggering. Within 87 years of Ponce de Leon’s landing, the Mississippian cultures of the Southeast had collapsed (Smith 1987).

In northern Florida, much of the surviving Native American population was converted by Jesuit and Franciscan missions (cf., McEwan 1993). However similar efforts in peninsular Florida met with mixed success, not for a lack of effort, but because the remaining peninsular populations were intractable (Hann 1991, 2003). The Philip Mound Site in eastern Polk County has produced evidence

of a Spanish mission to the Jororo of the region. A 1693 priest's account describes the Jororo, "On the whole [they] do not work at plantings. They are able to sustain themselves solely with the abundance of fish they catch and some wild fruits" (Fray Juan de Carmenatri 1693 in Hann 1991:111).

During the two centuries following the settlement of St. Augustine, the Spanish widened their Florida holdings to include the settlement at Pensacola and a garrison at Saint Marks. With the English to the north, the French to the west, and surviving portions of the Muskogean Creek, Yamasse, and Oconee moving into interior Florida, the Spanish colony of *La Florida* was extremely fragile. The Treaty of Paris (1763) reallocated the English, French, and Spanish holdings in the New World. As a result, Florida was ceded to the English. The ensuing decades witnessed the American Revolution during which English loyalists immigrated to Florida. Following the Revolution, the Treaty of Paris (1783) returned Florida to Spain; however, Spanish influence was nominal during this second period of ownership. For the next 36 years, Spain, from the vantage of Florida, watched with growing concern as the infant American Nation to the north gained momentum. When the United States acquired the Louisiana Purchase from France in 1803, Spain was hemmed in by the aggressive young nation. When Andrew Jackson conducted cross border raids into Florida under the pretext of suppressing Indian hostilities, he set in motion the chain of events that culminated in the cession of Spanish Florida to the United States in exchange for lands west of the Sabine River, which separates Louisiana and Texas.

During the political machinations between 1763 and 1819, Native Americans continued to move into the uncharted lands of Florida. These migrating groups became known to English speakers as Seminoles or Seminols. This term is thought to be either a corruption of the Creek *ishti semoli* (wild men) or the Spanish *cimarron* (wild or unruly). Their presence curtailed settlement of the region and hostilities increased. The conflict between the Americans and the Seminoles over Florida came to a head in 1818 and was subsequently known as the First Seminole War.

### **3.5 Territorial and Statehood**

As a result of the First Seminole War and the Adams-Onís Treaty of 1819, Florida became a United States territory in 1821. Andrew Jackson, named provisional governor, divided the territory into St. Johns and Escambia Counties. At that time, St. Johns County encompassed all of Florida lying east of the Suwannee River, and Escambia County included the land lying to the west. Settlement was slow and scattered during the early years. In the first territorial census in 1825, some 317 persons reportedly lived in South Florida; by 1830 that number had risen to 517 (Tebeau 1980:134).

Although the First Seminole War was fought in north Florida, the Treaty of Moultrie Creek in 1823, at the end of the war, was to affect the settlement of south Florida. In exchange for occupancy of an approximately four-million-acre reservation south of Ocala and north of Charlotte Harbor, the Seminoles relinquished their claim to the remainder of the peninsula (Covington 1958; Mahon 1985). The treaty satisfied neither the Native Americans nor the settlers. The inadequacy of the reservation, the desperate situation of the Seminoles, and the mounting demand of the whites for their removal, spawned the Indian Removal Act of 1830, and soon produced another conflict. By 1835, the Second Seminole War was underway.

During the Second Seminole War, Fort Gardiner, lying within present-day Polk County, was established at the headwaters of the Kissimmee. Military and civilian suppliers passed through the region traveling to reach Seminole villages and an increasing number of military fortifications. A major military strategy during the war was developed to ensure that the Seminoles would remain on the lands south of Ocala. General Zachary Taylor established a line of posts or forts across the state from Fort

Brooke, on the west, to around New Smyrna on the east coast. The line of forts included Fort Fraser in Polk County. The Second Seminole War lasted until 1842, when the federal government decided to end the conflict by withdrawing troops from Florida. Some of the battle-weary Seminoles were persuaded to emigrate west where the federal government had set aside land for a reservation. However, those who wished to remain were allowed to do so but were pushed further south into the Everglades and Big Cypress Swamp. This area became the last stronghold for the Seminoles (Tebeau 1980).

Encouraged by the passage of the Armed Occupation Act in 1842, designed to promote settlement and to protect the Florida frontier, families moved south through the state. The Act made available 200,000 acres outside the already developed regions south of Gainesville to the Peace River, barring coastal lands and those within a two-mile radius of a fort. The Armed Occupation Act stipulated that any family or single man over 18, able to bear arms, could earn title to 160 acres by erecting a habitable dwelling, cultivating at least five acres of land, and living on it for five years (Covington 1961a:48). During the nine-month period the law was in effect, 1184 permits were issued totaling some 189,440 acres (Covington 1961a:48).

In 1845, the State of Florida was admitted to the Union with Tallahassee selected as the state capital. During the same year, Hillsborough County, which was established in 1834, was enlarged to include parts of Mosquito County, including the area that later became Polk County. Federal surveys were initiated by the U.S. Government in the 1840s, following the Second Seminole War and the Armed Occupation Act. J. Westcott surveyed both the exterior and interiors lines of Township 28 South, Range 24 East in 1849-50. In his field notes he describes the area as 2<sup>nd</sup> and 3<sup>rd</sup> rate pine and notes the presence of a lake in the northern western portion of Section 27 (State of Florida 1849/50:291-292). The accompanying 1850 *Plat* shows no historic features proximate to the APE (State of Florida 1850) (Figure 3.2).

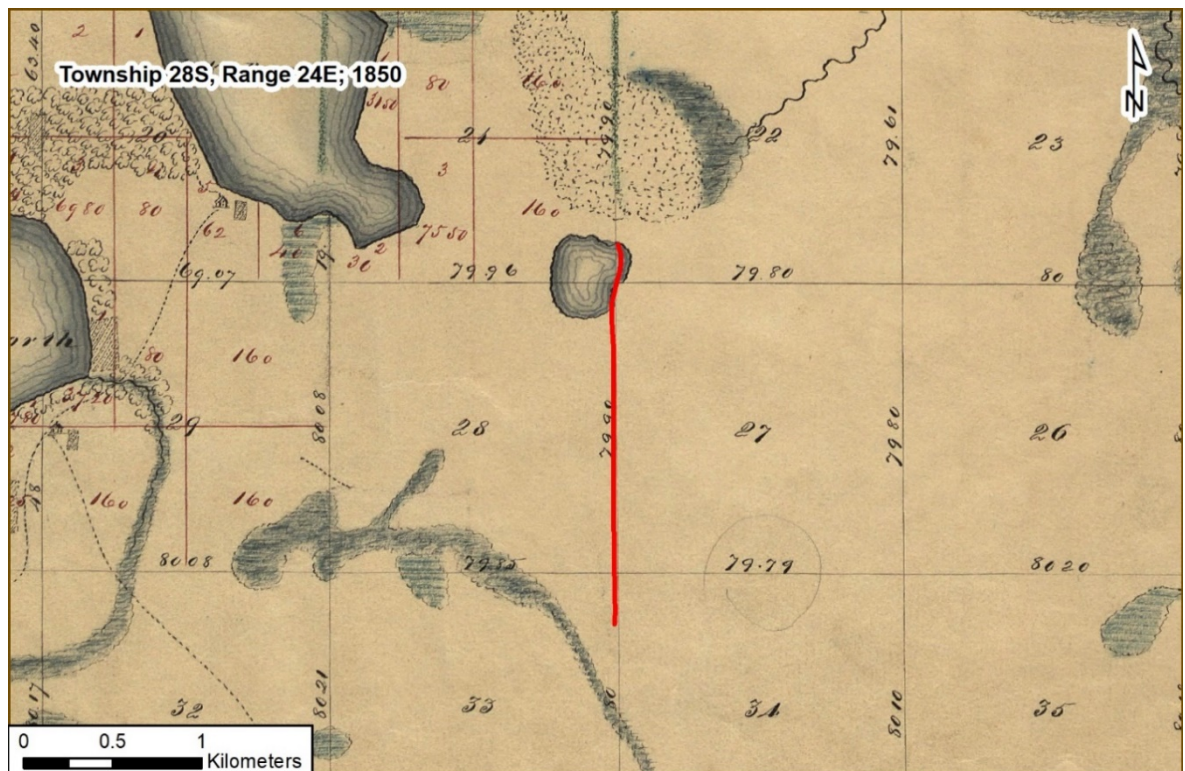


Figure 3.2. 1850 plat of the project location.

By 1851, there were not more than a dozen Anglo-American families, along with a garrison of soldiers and a hundred or so Indians, in what was to become Polk County. The earliest settlements were established along the Peace River, west of the project area. Pioneer homesteaders included the Blounts, Raulersons, and Summerlins, most of who were from northeast Florida. Many of the families tended to concentrate around the communities of Medulla, Bartow, Socrum, and Fort Meade.

Military trails crisscrossed present-day Polk County. As more homesteaders settled further south on the peninsula, difficulties with the Seminoles increased, eventually resulting in the Third Seminole War (1855-1858) (McNeely 1961:7). For example, in 1849 an “Indian Scare” began with several attacks, one occurring near a trading post at Payne’s Creek. There, white settlers employed at the post, were attacked by a few young Seminoles. Two settlers were killed and others escaped to alert surrounding settlements (Frisbie 1976:16). The possibility of repeat events such as this made military installations necessary (Covington 1961b).

Fortifications built after this incident included Fort Chokonikla, erected in 1849 on the west bank of the Peace River, near present-day Bowling Green (Miller and Schene 1978). Fort Hartsuff and Fort Green were established in the surrounding area in the 1850s after the withdrawal of federal troops from Ft. Chokonikla in the spring of 1850 (Miller and Schene 1978). Fort Gibson, established ca. 1850, was erected as a civilian fort to provide protection against Indian attacks because no military forts were located in the near vicinity. In addition, Fort Hartsuff was established in 1851 in the area that later became Wauchula. It served as a haven for settlers and proved to be the center from which the town of English (now Wauchula) developed. Fort Hartsuff was occupied on two separate occasions; 1851 and again in 1856 during the Third Seminole War. Fort Green, a non-military fortified homestead, was built between 1854 and 1856 (Plowden 1929).

In December 1855, the Third Seminole War, or Billy Bowlegs War, began as a result of pressure placed on the Seminoles remaining in Florida to emigrate west (Covington 1982). The war began in present-day Collier County when Seminole Chief Holatter-Micco, or Billy Bowlegs, and 30 warriors attacked an army camp killing four soldiers and wounding four others. The attack was in retaliation for damage done by several artillerymen to property belonging to Billy Bowlegs. This hostile action renewed state and federal interest in the final removal of the Seminoles from Florida (Tebeau 1966).

Polk County was witness to some hostile action during the Third Seminole War. The Battle of Peace River occurred in the summer of 1856, as a result of a Seminole war party attack on the Tillis family home near Fort Meade (Matthews 1983:232). Reinforcements were sent from Fort Fraser to Fort Meade and a bloody battle ensued with the settlers withdrawing to a position south of Fort Meade. Captain William B. Hooker, commander of militia forces in the area, arrived and searched for the Seminole group up and down the banks of the Peace River with no success. The battle was over. It was not until two years later in February of 1858, that the final Seminole War ended when Chief Billy Bowlegs, along with 165 Seminoles, accepted monetary persuasion to migrate west. On May 8, 1858, the Third Seminole War was declared officially over (Brown 1991:112-115; Covington 1982:78-80).

Following the Third Seminole War, the area that currently comprises Polk County experienced its first land boom. More soldiers settled in the area and civilians finally felt the land was sufficiently safe to inhabit. Several settlements sprang up and others grew. Communities developed during the mid-nineteenth century as families settled near forts for protection. By 1860, the total population of Hillsborough County, which included present-day Polk County, was 2,979. Nineteen percent of the total population was slaves, with only 120 slave owners in the entire county. One year later, Reading

Blount, James Hamilton, George Hamilton, Francis A. Hendry, Louis Lanier, John C. Oats, Henry Seward, and Frederick Varn owned 55 percent of the slaves in Polk County. The slaves located in Fort Fraser and Fort Blount held a value of \$81,450, almost as much as cattle in the same year (Brown 1991:137-138).

### **3.6 Civil War and Aftermath**

On February 8, 1861, the state legislature created Polk County out of portions of Hillsborough and Brevard Counties, and named it in honor of President James K. Polk (Frisbie 1976:32). That same year, Florida followed South Carolina's lead and seceded from the Union as a prelude to the American Civil War. Although homesteaders and settlers clustered around the drainage and supply systems of Peas Creek (Peace River), occupation was still scattered and isolated throughout the years of the War Between the States (Davis 1856). Many male residents abandoned their farms and settlements to join the Union Army at one of the coastal areas retained by the United States government or joined the Confederate Cow Cavalry. The Confederate Cow Cavalry provided one of the major contributions to the Confederate war effort by supplying and protecting the transportation of beef to the government (Akerman 1976:93-95). There was little military activity in Polk County during the ensuing four years of the Civil War.

During the early post-war years, the highly publicized 1862 Homestead Act, passed by the U.S. Congress as wartime legislation, enticed more settlers into Florida to establish farms and rescue the rebel state. Civilian activity slowly resumed a normal pace after recovery from wartime depressions. Subsistence agriculture, citrus, and cattle remained the primary economic sources in Polk County. The county seat was established in 1867 on land at Fort Blount given by Jacob Summerlin. The settlement was named Bartow, for Gen. Francis S. Bartow of Georgia, a wartime casualty (Frisbie 1976:32). Travel between Tampa, Fort Meade, and Bartow, a 48-mile trip requiring twelve hours, was completed weekly by stagecoach (Pizzo 1968:77). During the early 1870s, there were less than 150 people residing within an area of 50 square miles surrounding the county seat of Bartow. The unstable economy following the war hampered any noticeable development in central and south Florida until the 1880s, when railroads extended tracks through the area (Historic Property Associates, Inc. [HPA] 1992).

During the Reconstruction period following the Civil War, Florida's financial crisis, born of pre-Civil War railroad bonded indebtedness, led Governor Bloxham to search for a buyer for an immense amount of state lands. Bloxham's task was to raise adequate capital in one sale to free from litigation the remainder of state lands for desperately needed revenue. In 1881, Hamilton Disston, a Philadelphia investor and friend of Governor Bloxham, purchased four million acres from the State of Florida, in order to clear the state's debt. This transaction, known as the Disston Purchase, enabled the distribution of large land subsidies to railroad companies, allowing them to begin extensive construction programs for new lines throughout the state (Harner 1973; Tebeau 1980). Disston's land holding company was the Florida Land and Improvement Company. He and his associates also formed the Atlantic and Gulf Coast Canal and Okeechobee Land Company on July 20, 1881 (Davis 1939:205). This company was established as part of the drainage contract established with the State. This contract provided Disston and his associates one-half of the acreage that they could drain, reclaim, and make fit for cultivation south of Township 23 South (later changed to Township 24 South) and east of the Peace River.

Coupled with Disston's project and the arrival of the railroads in the 1880s, economic development and progress began to increase (Frisbie 1976). The Florida Southern Railroad had acquired the old railroad charter and land grant of the Gainesville, Ocala and Charlotte Harbor Railroad

which was due to expire in 1885. To hold this charter and secure lands, immediate railroad construction was necessary. Construction began in the Bartow area and continued southward through present-day Hardee County, reaching Trabeau (later renamed Punta Gorda) in July of 1886 (Frisbie 1976:45; Brown 1991:267).

In addition to the introduction of the railroad in the 1880s, natural resources were discovered, fostering growth in the area. Established communities in Polk County, such as Bartow and Fort Meade, witnessed a population growth as new settlers came in search of cheap land on which to establish homesteads. Other communities such as Avon Park, and Kissimmee were established at this time primarily due to investors who purchased large tracts of land from Disston. Haines City, located approximately seven miles south of the project area, was also established at this time from an earlier settlement called Clay Cut. Settlers in the area first planted tomatoes and grapes but by the turn of the century, the majority of the area was involved in the citrus industry.

Settlements continued to extend further south, increasing the population and number of citrus groves in South Florida. During studies conducted by the U.S. Army Corps of Engineers in 1881 to determine the feasibility of opening a navigable waterway from the St. Johns River to Charlotte Harbor, valuable pebble rock phosphate deposits were discovered along the Peace River. Subsequent massive land acquisitions began and continued for decades. Mining towns, refineries, and shipping facilities were soon to change the face of the lands in which deposits were found (Blakey 1974; Brown 1991; Driver 1992; Historic Tampa/Hillsborough County Preservation Board [HT/HCPB] 1980).

Polk County began witnessing major growth following the discovery of phosphate and the construction of the railroad throughout the county. In 1883, Henry Plant's South Florida Railway entered Polk County, extending from Tampa northeast to Kissimmee where it linked up with the Sanford Line. Ten years later, in 1893, the land within the APE in Sections 27 and 33 was deeded to the Florida Central and Peninsular Railroad. Within Section 28, William Park, James Enis, William Hayes, and Robert Bryan were all deeded portion of the APE (State of Florida n.d.: 36-38).

In late 1889, the DeSoto Phosphate Mining Company erected a phosphate processing plant on the bank of the Peace River (Brown 1991:314). From its beginnings at Zolfo and Arcadia, the phosphate craze spread through the Peace River Valley. The Pharr Phosphate Company and the Florida Phosphate Company established mines near Bartow in 1890. However, the pebble phosphate boom was short lived. A drop in prices, decreased demand, increasing production costs, the effects of the great Panic of 1893, and competition from hard rock and land pebble mine, ultimately combined to close the production of pebble phosphate (Brown 1991:316). Nonetheless, land mining for phosphate continued, and in 1919 there were 17 phosphate companies in Polk County (United States Environmental Protection Agency [USEPA] 1978). By 1938, extensive consolidation of the various phosphate companies across the state resulted in a total of three hardrock phosphate companies and six land pebble phosphate companies (Blakey 1974:159).

By 1895, only a decade after incorporation, the population of Lakeland had nearly doubled to 1,000. Much of this was because Lakeland had become an important rail yard and shipping site in Polk County; by 1893, there were 20 daily train arrivals and departures at the local station. Essential to the economic success of Lakeland, the railroad facilitated the shipment of citrus, strawberries and phosphate, three of its key industries, to markets worldwide (Hetherington 1928:10; McNeely 1961:5, 10-11). This placed the town among the top 15 cities in Florida at the time. Although the national financial Panic of 1893, and the Great Freeze of 1894-95, devastated capital investment and much of the Florida citrus industry, including that in Polk County, groves were replanted and prospered again



within the next decade. In 1900, the main industries remained phosphate mining, citrus, and strawberry farming (Hetherington 1928).

### **3.7 Twentieth Century**

The Florida Citrus Exchange, (now Seald Sweet International) (Seald Sweet International 2019), was formed in Tampa in 1909, with a Polk County sub-exchange headquartered in Bartow. The Lakeland Citrus Exchange was founded in 1912. By 1916, several packinghouses and a juice plant were added. These were primarily located along the railroad tracks, northwest of downtown. By the late 1910s, the naval stores industry, producing turpentine, lumber, and rosin, joined the citrus and phosphate industries as prime economic enterprises in Polk County.

By 1916, the Good Roads Association sponsored a 1.5-million-dollar bond issue to build 217 miles of asphalt highways linking every major city in Polk County. By 1923, another million dollars had been spent on asphalt roads, with arches erected at each major point of entry. Polk County was believed to be the only county in the country where every town was linked by paved roads (Brown 2001; Frisbie 1976; Hetherington 1928; McNeely 1961). The expanding road system, mild winters, new hotels, and marketing of Florida as a tropical paradise, prompted the Florida Land Boom of the 1920s. During the boom, hundreds of citrus growers marketed sales of crops and land simultaneously.

Florida's land boom economy was based upon such wild speculation that banks were unable to keep track of loans or property values (Eriksen 1994:172). By October 1926 accounts of the situation reported in northern newspapers diminished investor confidence, rendering speculators unable to liquidate their holdings (Curl 1986). Making matters worse, two fierce hurricanes ravaged Florida in 1926 and 1928. The devastating Okeechobee Hurricane of 1928 killed nearly 3,000 people in southeast Florida and created a mass exodus of refugees fleeing northward (Mykle 2002). Adding to economic hardship, in 1929, the Mediterranean fruit fly scare paralyzed the citrus industry, with quarantines and inspections slowing an already sluggish industry.

The crisis in the citrus industry, coupled with the stock market crash of October 1929, and the ensuing Great Depression (1929-1939) brought the closing of mines, mills and citrus packing plants, and introduced widespread unemployment in Polk County (Burr 1974). To make things worse, a compulsory cattle dipping law required twice monthly treatment of cattle. The intention of the policy was to eradicate the cattle fever tick, the arthropod vector organism responsible for transmitting tick fever, a disease debilitating to the nation's southern stock, and fatal to northern herds (Black 1998). Unfortunately, until the correct arsenical, DDT, and/or Toxaphene "dip recipe" was discovered, many cattle died of overdose (Black 1998). The dipping mandate required constant hours in the saddle for roundups (Akerman 1976) but established a new standard of accountability for ranchers. Formerly free-ranging herds were now fenced in and branded (Carlton 1997). One notable exception to the rule of economic decline was the founding in 1930 of the first Publix supermarket in Polk County (Winter Haven). Today, Publix is a Fortune 500 Company and its founder George Jenkins was named a Great Floridian in 2011 by the State of Florida (Publix 2019).

As Florida's population grew, numerous airfields were constructed around the state to support travel and tourism. In Polk County, the Haldeman-Elder Airport was established in 1928 and operated until 1943. It was named after pilot Ruth Elder, a resident of Lakeland, and her flight instructor George Haldeman, also of Lakeland. Inspired by Charles Lindberg's solo transatlantic flight in 1927, the 23-year-old hoped to become the first woman to make a solo flight across the Atlantic and persuaded her instructor to accompany her (McCarthy 2017). Haldeman, after serving in the U.S. Army air service



during WWI, operated several flying school in various parts of Florida, as well as breaking speed and altitude records (Delta Mike Airfield, Inc. 2018).

The pair of aviators raised \$35,000 in support of their mission and set out from Tampa's Drew Air Base in Tampa for New York. They attempted their transatlantic flight along a relatively safe southern route but had to abandon the plane and the mission when a dangerous rupture was found in the plane's oil line. The plane crashed into the sea causing both aviators abandon the craft. Initially, they were presumed to have been lost at sea but were ultimately rescued. Their plane exploded in the water as a French military vessel attempted to bring it aboard after the rescued aviators had already boarded. The dramatic situation played out in banner headlines in the United States and Europe (Anonymous 1928; Holden 2001; McCarthy 2017; Seigel 1977).

Before aborting the flight, the team set an over-water flight record by flying 2,632 miles over a rough 36 hours in the air. Ironically, they would have succeeded in reaching Europe if they had followed a northern, instead of a southern route. In any case, the flight was much celebrated, and Elder was greeted by a ticker tape parade in New York City, then celebrated upon visiting Paris afterward. In addition, she received a \$250,000 dollar personal appearance contract after the flight and went on to enjoy success as motion picture starlet. She was dubbed the "Miss America of Aviation" and was honored, along with her flight instructor, by having the Halderman-Elder (also known as Eaton Park) airfield named for them (Anonymous 1928; Holden 2001; McCarthy; Seigel 1977).

By the mid-1930s, the federal Works Progress Administration (WPA) established economic relief programs to employ able bodied workers building parks, bridges, and public buildings. Polk County workers benefitted from several WPA initiatives. In Lakeland, the WPA built Lockwood Airfield to replace the smaller Halderman-Elder Field, also known as Eaton Park, southeast of the city. The Halderman-Elder airfield closed around 1960 when expanding flight operations were moved to Lakeland Linder International Airport. By 1968, a mining operation had replaced the airfield and a mixture of development and groves are present along the remainder of the highway corridor (USDA 1968; USGS 1975).

The WPA also occasionally assisted local entrepreneurs. In Polk County, for example, businessman Dick Pope received WPA support for the development of swampland on the north bank of Lake Eloise. Pope's efforts created Cypress Gardens (est. 1936), Florida's first theme park. The attraction featured thousands of species of flowers from around the world, rides and waterskiing shows (Brown 2001). Today, LEGOLAND theme park is located where Cypress Gardens once stood.

American involvement in World War II (1939-1945) coincided with the end of the Great Depression and the beginning of Florida's economic recovery. War and defense contracts in the state revitalized tourism, manufacturing, and agriculture, while Florida became training ground for amphibious and aviation military operations. By 1942, Florida was home to 172 military installations ranging from small camps to large bases (National Park Service 2019). In Polk County, the Lakeland School of Aeronautics, at the behest of the Army Air Corps, trained more than 9,000 cadets from the United States and Britain at the Lockwood Airfield. The flight school closed in 1945. Today, the location is home to the Detroit Tigers' "Tiger Town" baseball complex. The Tiger's baseball team has been based in Lakeland since 1936 (Lakeland Flying Tigers 2010).

Also, during the World War II era, Polk County phosphate operations continued to prosper, and agricultural production enjoyed industry-wide economic recovery. Demands for modern

agricultural production created global market incentives and conglomerate corporations entered the market. As technology evolved, small-scale operations began to disappear (HT/HCPB 1980:17-18).

After the war, more Americans purchased cars, making the middle class more mobile, and family vacations more affordable. This had a dual impact on Florida; an increase in tourism, and a wave of new settlers, many military families, settling permanently after the war. This influx of young families resulted in residential development to accommodate the era's "baby boom" (1946-1964) (Kahn Academy 2019). Between 1940 and 1950, Florida's population grew from 1,897,414 in 1940 to 2,771,305 in 1950, an increase of 46% (Smith 2005:22). The widespread use of air-conditioning in Florida residences at this time made added to the state's appeal by making the hot, humid summers more bearable (University of South Florida Libraries 2019). By the 1950s, Polk County had become a focal point of Florida politics and a prime mover in the state's economy (Polk County Historical Society 2019).

In 1956, the Highway Act funded 41,500 miles of interstate highway nationwide. Interstate 4 (I-4) was included in the measure and the road was completed in 1965. Today, I-4 is the major transportation link between Tampa and Orlando. Polk County's population densities tend to cluster near Orlando to the east, and Tampa to the west. Since construction of the highway was completed, growth has been the rule. In 1978, the population was 231,100 and blossomed to a whopping 686,483 in 2017, an increase of 197%.

The county remains a leading phosphate, citrus and cattle producer and boasts strong industries in poultry, softwood logs and pulp. It also has the largest acreage of farmland, by county, in the State. Tourism remains important economically. Many visitors to Polk County come to enjoy sporting events, resorts and the LEGOLAND theme park.

Like every county in Florida, Polk County must grapple with the realities of severe weather events and the implications of global warming and associated phenomena. During the historic 2004 hurricane season, three major hurricanes, Charley, Frances, and Jeanne all visited upon Polk County (Bossak 2004). Historically, the area has been impacted by several tornadoes and hail-storms in addition to Florida's typical wet-dry seasonal cycles (National Weather Service 1994).

### **3.8 Project Specifics**

The aerial photographs of the project area from 1941 to 1968, available from the Publication of Archival Library & Museum Materials (PALMM) website (**Figures 3.3 and 3.4**), and the USGS quadrangle maps beginning in 1941 show the Haldeman-Elder Airport (See section 3.7) located east of the APE and areas to the west planted in citrus (USDA 1941, 1968; USGS 1944, 1975). Most development along the corridor occurred from the 1950s through the late-1960s. The Royal Oak Manor Subdivision is located towards the north end of the project limits west of the corridor. This subdivision was developed in 1959 through 1960s. Present day conditions along the corridor include a mix of industrial, retail/office, and residential land uses, and the Oscar J. Pope Elementary School stands where the old Halderman-Elder Airfield was located.



**Figure 3.3.** 1941 aerial photograph of the project location and the old Halderman-Elder Airfield (outlined in purple) (USDA 1941).





**Figure 3.4.** 1968 aerial photograph of the project location (USDA 1968).

## 4.0 RESEARCH CONSIDERATIONS AND METHODOLOGY

### 4.1 Background Research and Literature Review

For CRAS projects, research designs are formulated prior to initiating fieldwork to delineate project goals and strategies. Of primary importance is an attempt to understand, based on prior investigations, the spatial distribution of known resources. Such knowledge serves not only to generate an informed set of expectations concerning the kinds of sites which might be anticipated to occur within the project area, but also provides a valuable regional perspective and, thus, a basis for evaluating any new sites discovered. The digital FMSF data used in this report were obtained in October 2020. However, according to FMSF staff, input is typically several weeks behind receipt of reports and site files and the GIS data are updated quarterly. Thus, the findings of the background research phase of investigation may not be current with actual work performed in the area. No one was encountered who had information on the history of the project area.

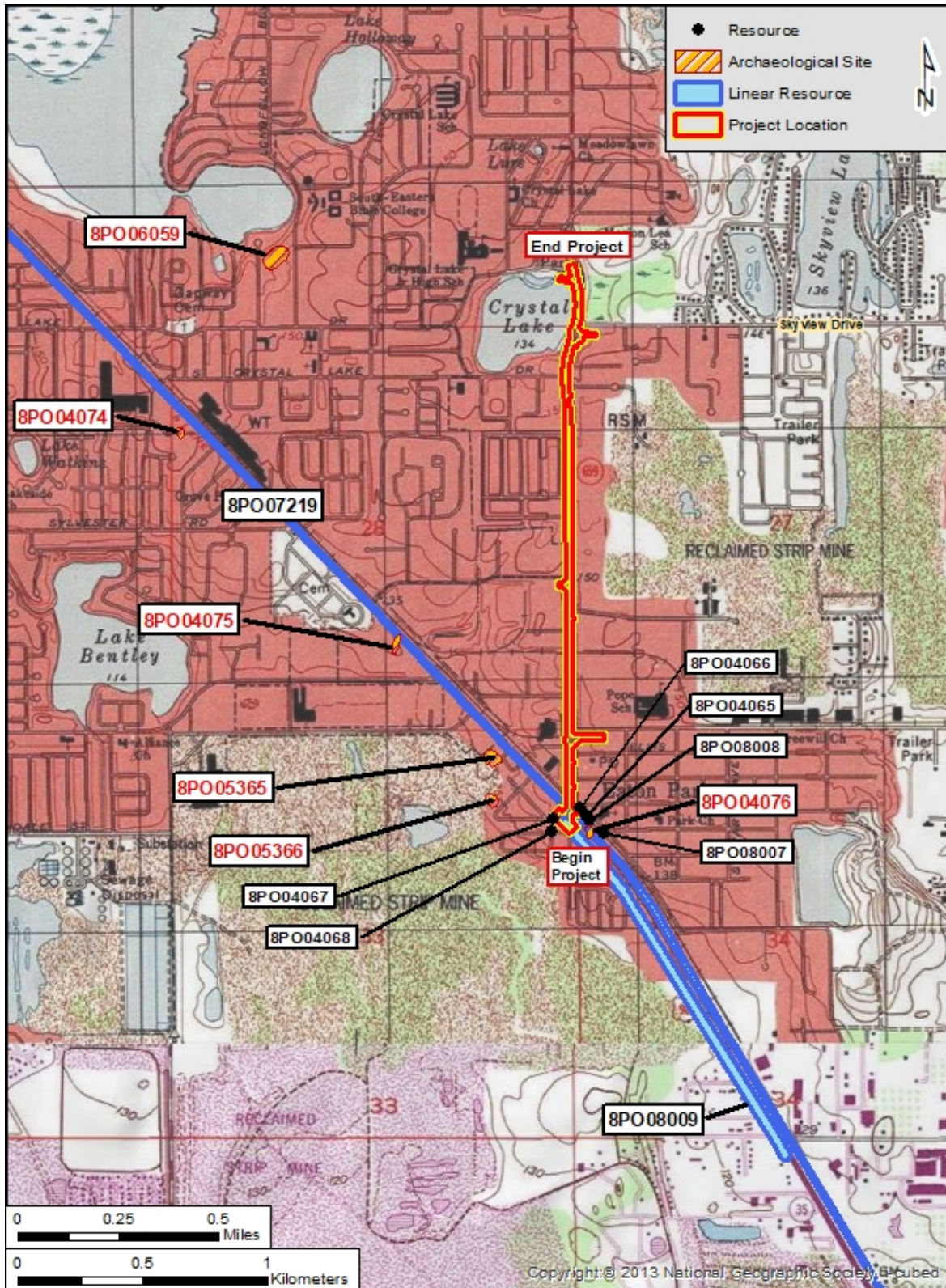
#### 4.1.1 Archaeological Considerations

A review of the FMSF revealed that that no archaeological sites are recorded within the archaeological APE. One previously recorded site, 8PO04076, is approximately 100 m (328 ft) to the southeast and five sites have been recorded within one mile (**Table 4.1; Figure 4.1**). Site 8PO04076, Eaton Park Church, is a low-density artifact scatter. Additional testing, with negative results, was conducted at the site in 2015 (ACI 2015). Site 8PO04074, Richmond Road, is a single artifact site; sites 8PO04075, XYZ Liquor; 8PO05365, Strip Mine; and 8PO06059, Little Bonny Grove, are low density lithic scatters; and 8PO05366, Linden Avenue, is a low-density artifact scatter. Sites 8PO04074, 8PO04075, and 8PO04076 were discovered during a survey of US 98, North of Brooks Street (Anderson and Estabrook 1995). Sites 8PO03565 and 8PO05366 were recorded during a survey of US 98, South of Brooks Street (ACI 1997a), and site 8PO06059 was discovered during a survey of the SEU Longfellow project area (Wallace 2008). According to the State Historic Preservation Officer (SHPO), the six archaeological sites are ineligible for listing on the NRHP.

**Table 4.1.** Previously recorded archaeological sites within the APE and within one mile.

SITE#	SITE NAME	SITE TYPE	CULTURAL PERIOD	RECORDER	SHPO EVAL
8PO04074	Richmond Road	Single artifact	Prehistoric	Anderson and Estabrook 1995	Ineligible
8PO04075	XYZ Liquor	Lithic scatter	Prehistoric	Anderson and Estabrook 1995	Ineligible
8PO04076	Eaton Park Church	Lithic scatter	Prehistoric	Anderson and Estabrook 1995, ACI 2015	Ineligible
8PO05365	Strip Mine	Lithic scatter	Prehistoric	ACI 1997a	Ineligible
8PO05366	Linden Ave	Artifact scatter	Prehistoric	ACI 1997a	Ineligible
8PO06059	Little Bonny Grove	Lithic scatter	Prehistoric	Wallace 2008	Ineligible





**Figure 4.1.** Location of archaeological sites and historic resources within one mile of the APE.

In addition to the surveys noted above, a survey for the Impact Corridor of the Lakeland Reuse Line was previously conducted within the APE; no sites were found (Piper et al. 1980). Other investigations within one mile of the APE include surveys for highway projects (ACI 1997b; Browning and Jackson 1990; Browning and Weidenfeld 1989; HDR Engineering 1993), cellular towers (Burger and Muldowney 2003; Torres 2005), utilities (Athens and Berkin 1994); and an archaeological predictive model for the City of Lakeland (ACI 1999).

As archaeologists have long realized, aboriginal populations did not select their habitation sites and special activity areas in a random fashion. Rather, many environmental factors had a direct influence upon site location selection. In addition to freshwater availability, relative elevation, and better-drained soils, proximity to food and other resources including stone and clay were important site selection criteria.

In general, it has been repeatedly demonstrated that the majority of prehistoric archaeological sites are located proximate to a permanent or semi-permanent source of potable water. In addition, they are found, more-often than not, on better-drained soils, and at the better- drained upland margins of swamps, sinkholes, lakes, and ponds. In synthesizing the site location data for resources in the general vicinity, it has been noted (Janus Research 1992:41) that:

In a sand hills environment, for example, a majority of the known sites are located near a water source on a ridge slope. If a water source is not located in the vicinity, the probability of site occurrence decreases dramatically. Water will not be the determining factor, however, if another resource with more limited distribution, such as stone for tool manufacture, is available (Deming and Almy 1984:17). In areas of relatively low relief and abundant wetlands, areas of higher elevation relative to the surrounding terrain would be considered more likely to contain sites (Ste. Claire et al. 1985; Wharton 1984).

Paleo-Indian and early Archaic period site settlement patterns were more strongly determined by availability of water and high-quality stone resources suitable for tool manufacture (Daniel and Wisenbaker 1987; Goodyear et al. 1983).

Based on environmental setting and historic photographs of the tract, there was a varied probability for archaeological sites to be present. The area northeast of previously documented archaeological site 8PO04076 was considered to have a moderate probability. When the site was documented in 1995, testing resulted in the recovery of only four artifacts, and testing in the area in 2015 did not produce artifacts. Additional moderate probability areas would be located on higher elevations with moderately well drained soils within 200 m (656 ft) of a water source and along the elevated margins of wetland features. The remainder of the APE was considered to have a low probability due to poorly drained soils, low elevation, and modern disturbance. The background research indicated that prehistoric sites, if present, would most likely be lithic and/or artifact scatters. Given the results of the historic research (State of Florida 1849/50:291-292; 1950), no nineteenth or twentieth century homesteads, forts, military trails, or Indian encampments were expected within the APE.

## 4.2 Historical Considerations

Historical/architectural background research included a review of the FMSF and the NRHP indicated five historic resources (8PO07219, 8PO08009, 8PO04065, 8PO04066, and 8PO04067) were previously recorded within the historic APE (**Table 4.2; Figure 4.1**). These include two linear resources (8PO07219 and 8PO08009), and three Frame Vernacular style buildings (8PO04065, 8PO04066, and 8PO04067), all have been determined ineligible for listing in the NRHP by the SHPO. In 2016, ACI conducted a survey for the Fort Fraser Trail Extension (Survey No. 22586); at which time the SHPO evaluated the segments of the South Florida Railroad (CSX Railroad) (8PO07219) and US 98 (8PO08009) and determined these resources ineligible for listing in the NRHP. Within the APE and outside of the APE to the south, the South Florida Railroad (CSX Railroad) (8PO07219) rail tracks have been removed.

**Table 4.2.** Previously recorded historic resources within the APE.

FMSF NO.	ADDRESS/SITE NAME	YEAR BUILT	TYPE/STYLE	SHPO EVALUATION
8PO08009	US 98	c. 1940	Linear Resource	Ineligible
8PO07219	South Florida Railroad (CSX)	c. 1885	Linear Resource	Ineligible
8PO04065	2615 Eaton Avenue	c. 1925	Frame Vernacular	Ineligible
8PO04066	2610 Eaton Avenue	c. 1920	Frame Vernacular	Ineligible
8PO04067	2514 Marion Drive	c. 1930	Frame Vernacular	Ineligible

A review of relevant historic United States Geographical Survey (USGS) quadrangle maps, historic aerial photographs, and the Polk County Property Appraiser's data revealed the potential for 35 new historic resources 50 years of age or older (constructed in 1970 or earlier) within the APE (Faux 2020).

## 4.3 Field Methodology

The FDHR's Module Three, Guidelines for Use by Historic Professionals, indicates that the first stage of archaeological field survey is a reconnaissance of the project area to "ground truth," or ascertain the validity of the predictive model (FDHR 2003). During this part of the survey, the researcher assesses whether the initial predictive model needs adjustment based on disturbance or conditions such as constructed features (i.e., parking lots, buildings, etc.), underground utilities, landscape alterations (i.e., ditches and swales, mined land, dredged and filled land, agricultural fields), or other constraints that may affect the archaeological potential. Additionally, these Guidelines indicate that non-systematic "judgmental" testing may be appropriate in urbanized environments where pavement, utilities, and constructed features make systematic testing unfeasible; in geographically restricted areas such as proposed pond sites; or within project areas that have limited high and moderate probability zones, but where a larger subsurface testing sample may be desired. While predictive models are useful in determining preliminary testing strategies in a broad context, it is understood that testing intervals may be altered due to conditions encountered by the field crew at the time of survey.

Shovel tests were placed at 50 meter (m) intervals in the moderate probability area located around Crystal Lake and Exchange Avenue. The remainder of the APE was tested judgmentally due to the presence of pavement, utilities, ditches, and other modern disturbances. Shovel tests were circular and measured approximately 50 centimeters (cm) in diameter by at least 1 m in depth unless precluded



by water or impermeable fill material. All soil removed from the shovel tests was screened through a 0.64 cm mesh hardware cloth to maximize the recovery of artifacts. The locations of all shovel tests were recorded with a Juno 5B Series GPS device, and following the recording of relevant data such as stratigraphic profile, all shovel tests were refilled.

Historic/architectural field methodology consisted of a field survey of the project APE to determine and verify the location of all buildings and other historic resources (i.e. bridges, roads, cemeteries) that were built in or prior to 1970, and to establish if any such resources could be determined eligible for listing in the NRHP. The field survey focused on the assessment of existing conditions for all previously recorded historic resources located within the APE, and the presence of unrecorded historic resources within the project area. For each property, photographs were taken, and information needed for the completion of FMSF forms was gathered. In addition to architectural descriptions, each historic resource was reviewed to assess style, historic context, condition, and potential NRHP and local eligibility. Also, informant interviews would have been conducted, if possible, with knowledgeable persons to obtain site-specific building construction dates and/or possible associations with individuals or events significant to local or regional history.

#### **4.4 Inadvertent/Unanticipated Discovery of Cultural Remains**

Occasionally, archaeological deposits, subsurface features or unmarked human remains are encountered during the course of development, even though the project area may have previously received a thorough and professionally adequate cultural resources assessment. Such events are rare, but they do occur. In the event that human remains are encountered during the course of development, the procedures outlined in Chapter 872, *FS* must be followed. However, it was not anticipated that such sites would be found during this survey.

In the event such discoveries are made during the development process, all activities in the immediate vicinity of the discovery will be suspended, and a professional archaeologist will be contacted to evaluate the importance of the discovery. The area will be examined by the archaeologist, who, in consultation with staff of the Florida SHPO, will determine if the discovery is significant or potentially significant. In the event the discovery is found to be not significant, the work may immediately resume. If, on the other hand, the discovery is found to be significant or potentially significant, then development activities in the immediate vicinity of the discovery will continue to be suspended until such time as a mitigation plan, acceptable to SHPO, is developed and implemented. Development activities may then resume within the discovery area, but only when conducted in accordance with the guidelines and conditions of the approved mitigation plan.

#### **4.5 Laboratory Methods and Curation**

No artifacts were recovered thus no laboratory methods were utilized. All project-related records, including maps, field notes, and photographs, and other documentation, will be curated at ACI in Sarasota (P18046), until arrangements can be made for curation by the FDOT.

## 5.0 SURVEY RESULTS AND RECOMMENDATIONS

### 5.1 Archaeological Results

The archaeological investigations consisted of surface reconnaissance combined with systematic and judgmental subsurface testing. A total of 49 shovel tests was excavated within the APE (Figures 5.1 & 5.2). Of these, 26 were placed in the area of moderate probability around Crystal Lake and Exchange Avenue (prior to land-altering activities) at 50 m intervals, and 23 were placed judgmentally. The judgmental tests were placed at various intervals depending on availability of non-disturbed soil and safety. A reasonable and good faith effort was made per the regulations laid out in 36 CFR § 800.4(b) (1) (Advisory Council on Historic Preservation n.d.) to test all areas of the project APE; however, some areas were not tested due to the presence of sidewalks, ditches, underground and above ground utilities, concrete paving, signage, and other significant disturbance (Photos 5.1-5.4; Photos 2.1-2.4; Appendix B).



**Photo 5.1.** Looking south at west side of APE, south of Crystal Wood Drive. Note the numerous examples of modern disturbance within the archaeological APE.

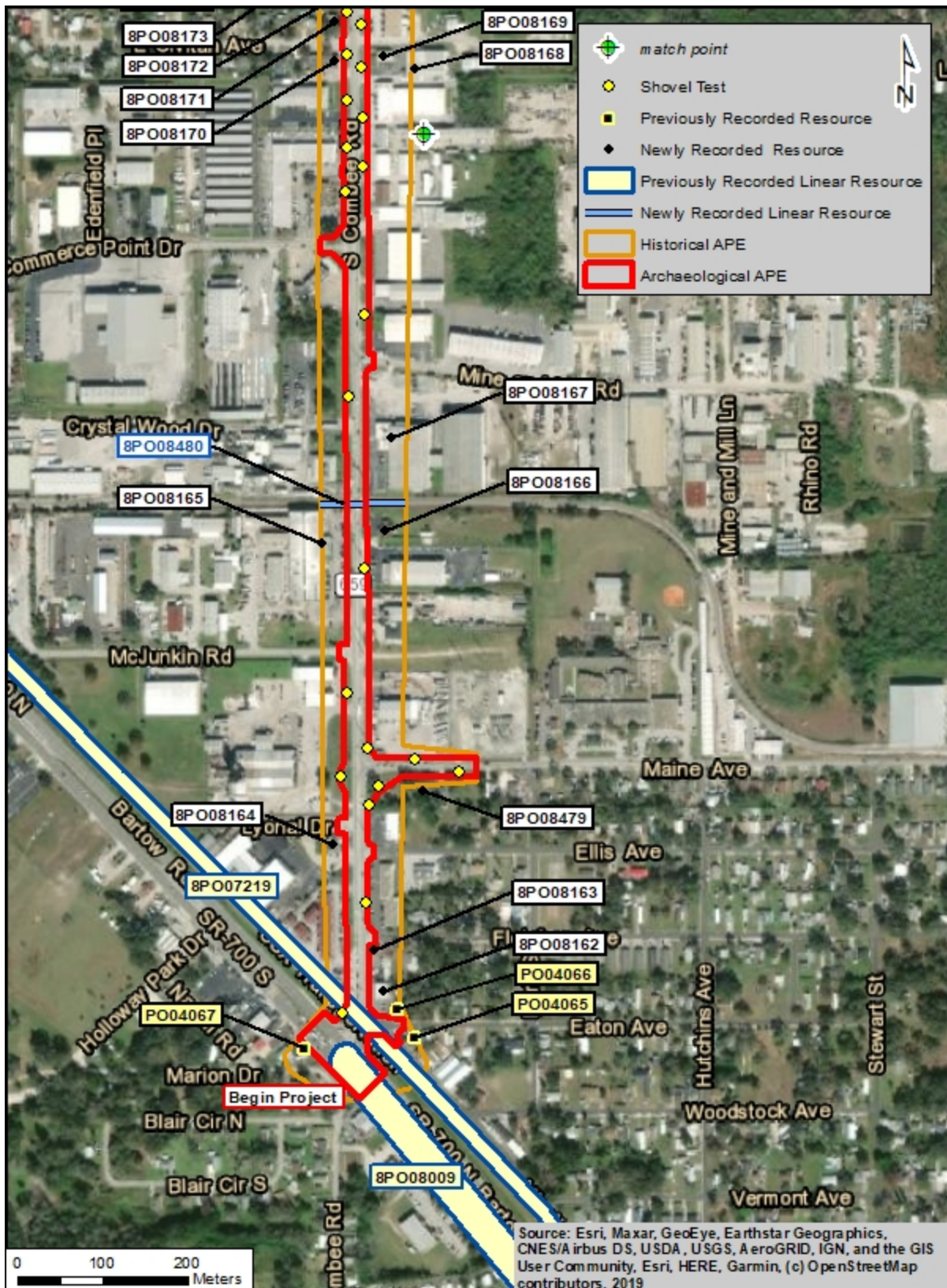
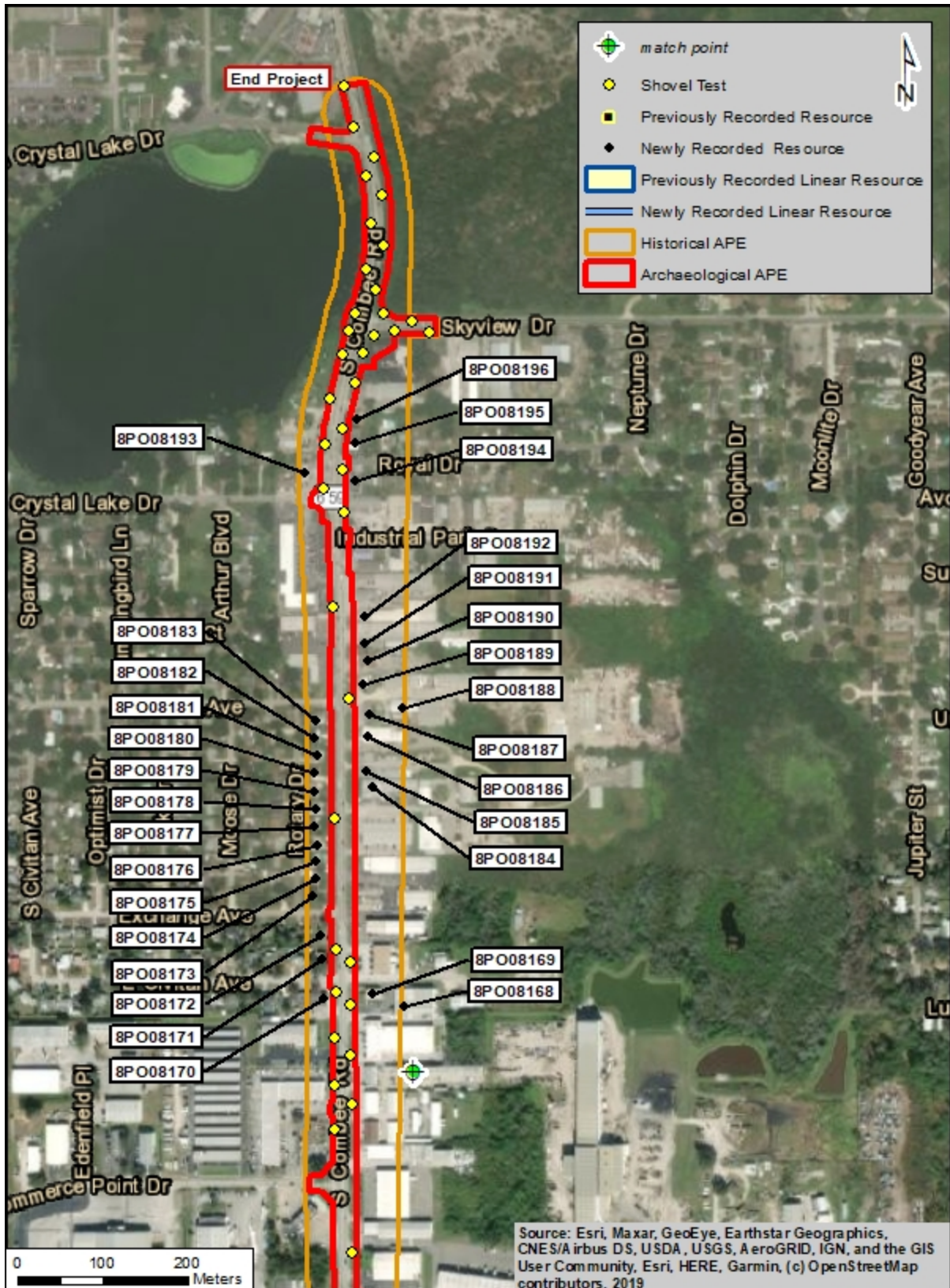


Figure 5.1. Location of shovel tests and historic resources within the APE.





**Figure 5.2.** Location of shovel tests and historic resources within the APE.





**Photo 5.2.** Looking north at numerous examples of disturbance with the archaeological APE. Crystal Lake is to the west (left on photograph).



**Photo 5.3.** Looking south at examples of disturbance within archaeological APE. Commerce Point Drive is in the background. Note the limited and disturbed area available for testing.



**Photo 5.4.** Looking south at examples of soil disturbance within APE. Area is between McJunkin Road and Crystal Wood Drive. Note various utility lines and retention/drainage ditch.

The stratigraphy found in the shovel tests varied slightly depending on location. In the moderate probability area in the northern portion of the APE (around Crystal Lake) the stratigraphy consisted of 0 to 50 centimeters below surface (cmbs) of dark gray-brown gravelly sand, 50 to 80 cmbs of brown mottled gravelly sand, followed by 80 to 100 cmbs of very light gray sand. Water usually entered the shovel tests at 90 cmbs. In the moderate probability area in the middle portion of the APE (near Exchange Avenue), the stratigraphy was 0 to 20 cmbs of dark gray-brown gravelly sand, 20 to 80 cmbs of gray-brown gravelly sand, followed by 80 to 100 cmbs of dark gray brown sand. The remainder of the tests had similar stratigraphy to that noted above. Some tests were terminated prior to reaching 100 cmbs due to the presence of utilities, water, or excessive fill material (**Photos 5.5-5.6**).

All 49 shovel tests were negative. As a result of field survey, no previously unrecorded historic or prehistoric archaeological sites were found.





**Photo 5.5.** Example of shovel test with early water intrusion.  
Area is within APE, south of McJunkin Road.



**Photo 5.6.** Example of shovel test with dense gravel fill.

## 5.2 Historical/Architectural Results

The historical/architectural background research indicated five historic resources (8PO07219, 8PO08009, 8PO04065, 8PO04066, and 8PO04067) were previously recorded within the historic APE. As a result of the historical/architectural field survey, 37 historic resources (8PO08162-8PO08196; 8PO08479 and 8PO08480) were newly identified, recorded, and evaluated (**Figures 5.1 & 5.2**). These include Frame Vernacular, Masonry Vernacular, Industrial Vernacular, and Minimal Ranch style buildings constructed between ca. 1958 and ca. 1969 as well as one linear resource. Overall, these resources are common examples of their respective architectural styles that have been altered or were built to basic engineering standards and are not of a unique design or a rare example of its type. In addition, background research did not reveal any historic associations with significant persons and/or events. Thus, these historic resources do not appear eligible for listing in the NRHP, either individually or as part of a historic district.

Within the APE, the architectural styles represented are Frame Vernacular (4), Masonry Vernacular (15), Industrial Vernacular (7), and Minimal Ranch (13), which date between ca. 1958 and ca. 1969 and three (3) linear resources. In general, the historic resources are associated with the residential and commercial development of Polk County from the 1950s through the late-1960s. Relevant resource-specific information is summarized in **Table 5.1** and completed FMSF forms for the 37 newly identified resources are contained in **Appendix C**. The latter contains building details and photographs. The five previously recorded resources were not significantly altered; therefore, an updated FMSF form was not prepared. General descriptions and selected examples of the architectural styles represented within the project APE follow.

**Table 5.1.** Historic resources recorded within the APE.

FMSF No.	Address/Site Name	Build Date	Style	NRHP Eligibility Recommendation
*8PO08009	US 98	c. 1940	Linear Resource	Ineligible
*8PO07219	South Florida Railroad (CSX)	c. 1885	Linear Resource	Ineligible
*8PO04065	2615 Eaton Avenue	c. 1925	Frame Vernacular	Ineligible
*8PO04066	2610 Eaton Avenue	c. 1920	Frame Vernacular	Ineligible
*8PO04067	2514 Marion Drive	c. 1930	Frame Vernacular	Ineligible
8PO08162	3020 Combee Road S	c. 1967	Masonry Vernacular	Ineligible
8PO08163	3002 Combee Road S	c. 1968	Masonry Vernacular	Ineligible
8PO08164	2915 Combee Road S	c. 1967	Masonry Vernacular	Ineligible
8PO08165	2701 Combee Road S	c. 1965	Industrial Vernacular	Ineligible
8PO08166	2690 Combee Road S	c. 1963	Masonry Vernacular	Ineligible
8PO08167	2500 Combee Road S	c. 1967	Industrial Vernacular	Ineligible
8PO08168	2008 Combee Road S	c. 1969	Industrial Vernacular	Ineligible
8PO08169	2000 Combee Road S	c. 1968	Industrial Vernacular	Ineligible
8PO08170	1923 Combee Road S	c. 1960	Masonry Vernacular	Ineligible
8PO08171	2626 Civitan Avenue	c. 1960	Minimal Ranch	Ineligible
8PO08172	2625 Exchange Avenue	c. 1960	Minimal Ranch	Ineligible
8PO08173	2624 Exchange Avenue	c. 1959	Minimal Ranch	Ineligible
8PO08174	1828 Rotary Drive	c. 1959	Minimal Ranch	Ineligible



<b>FMSF No.</b>	<b>Address/Site Name</b>	<b>Build Date</b>	<b>Style</b>	<b>NRHP Eligibility Recommendation</b>
8PO08175	1822 Rotary Drive	c. 1959	Minimal Ranch	Ineligible
8PO08176	1816 Rotary Drive	c. 1959	Minimal Ranch	Ineligible
8PO08177	1810 Rotary Drive	c. 1959	Minimal Ranch	Ineligible
8PO08178	1804 Rotary Drive	c. 1959	Minimal Ranch	Ineligible
8PO08179	1734 Rotary Drive	c. 1959	Minimal Ranch	Ineligible
8PO08180	1730 Rotary Drive	c. 1959	Minimal Ranch	Ineligible
8PO08181	1724 Rotary Drive	c. 1959	Minimal Ranch	Ineligible
8PO08182	1718 Rotary Drive	c. 1959	Minimal Ranch	Ineligible
8PO08183	2625 Kiwanis Avenue	c. 1959	Minimal Ranch	Ineligible
8PO08184	1802 State Road 33	c. 1969	Industrial Vernacular	Ineligible
8PO08185	1718 Combee Road S	c. 1969	Frame Vernacular	Ineligible
8PO08186	1716 Combee Road S	c. 1969	Industrial Vernacular	Ineligible
8PO08187	1710 Combee Road S (Building 1)	c. 1967	Masonry Vernacular	Ineligible
8PO08188	1710 Combee Road S (Building 2)	c. 1967	Industrial Vernacular	Ineligible
8PO08189	1704 Combee Road S	c. 1966	Masonry Vernacular	Ineligible
8PO08190	1620 Combee Road S	c. 1965	Masonry Vernacular	Ineligible
8PO08191	1616 Combee Road S	c. 1968	Masonry Vernacular	Ineligible
8PO08192	1612 Combee Road S	c. 1968	Masonry Vernacular	Ineligible
8PO08193	1435 Combee Road S	c. 1968	Masonry Vernacular	Ineligible
8PO08194	1500 Combee Road S	c. 1958	Masonry Vernacular	Ineligible
8PO08195	1440 Combee Road S	c. 1958	Masonry Vernacular	Ineligible
8PO08196	1430 Combee Road S	c. 1959	Masonry Vernacular	Ineligible
8PO08479	2617 Maine Avenue	c. 1955	Masonry Vernacular	Ineligible
8PO08480	ACL – Eaton Park Spur	c. 1963	Linear Resource	Ineligible

\*Denotes previously recorded resources within the APE evaluated by the SHPO.



**Photo 5.7.** The Frame Vernacular style office building at 1718 Combee Road S (8PO08185), facing southeast.

**Frame Vernacular:** Four historic resources within the historic APE are of the Frame Vernacular style (**Photo 5.7**) and were constructed between ca. 1920 and 1969 (**Table 5.1; Figure 5.1**). This building serves as the front office, while the masonry additions is for loading and receiving of shipments. Frame Vernacular buildings reflect the local customs, environment, and building materials, and do not rely on academic architectural vocabulary for their design and ornament. They are often built by developers, contractors, master carpenters, or the building's occupants. These buildings are decidedly practical structures. Within the APE, this building type generally has a concrete slab or concrete block pier foundation with a variety of siding including drop siding, plywood, brick, or horizontal plank. Roof types consist of gable or cross gabled, most of which are clad with composition shingles. Windows are typically single-hung sash. Exterior ornamentation consists mostly of concrete trim around windows and doors, awnings, and shutters. Most display replacement windows and roofs.



**Photo 5.8.** The Masonry Vernacular style store at 3020 Combee Road S (8PO08162), facing southeast.



**Photo 5.9.** The Masonry Vernacular style office at 1616 Combee Road S (8PO08191), facing southeast.



**Photo 5.10.** The Masonry Vernacular style store at 1440 Combee Road S (8PO08195), facing northeast.

**Masonry Vernacular:** A total of 15 historic resources within the historic APE are of the Masonry Vernacular style (**Photos 5.8 through 5.10**). The majority of these resources are store or office buildings with construction dates that range from the late-1950s through the 1960s (see **Table 5.1**). Like Frame Vernacular style buildings, Masonry Vernacular style buildings are simply built with available local materials and boasting little ornamentation. Within the APE, this building type generally has concrete slab foundations and concrete block walls. Roof types consist of gable or flat, most of which are clad with composition shingles. The exterior cladding often consists of stucco. Windows typically are awning or single-hung sash. Exterior ornamentation consists mostly of concrete window sills, security grills, and shutters. Most display replacement windows and roofs, and wood-frame additions are common as seen in **Photo 5.10**.





**Photo 5.11.** The Industrial Vernacular style building at 2701 Combee Road S (8PO08165), facing southwest.



**Photo 5.12.** The Industrial Vernacular style building at 1716 Combee Road S (8PO08186), facing northeast.

**Industrial Vernacular:** Seven historic resources within the historic APE are of the Industrial Vernacular style (**Photos 5.11 & 5.12**) and have construction dates that range from 1965 to 1969 (see **Table 5.1**). The majority are industrial or storage buildings. Similar to Masonry Vernacular and Frame



Vernacular style buildings, Industrial Vernacular style structures are simply built with available local materials and display little ornamentation. Within the APE, this building type usually has slab foundations, and gable is the most represented roof type. Most of the building exteriors, as well as the roofs, are clad with metal. Most of the warehouse facilities have an office attached to the front that are typically partially clad in brick veneer (**Photo 5.12**). Awning metal windows are most common, and exterior ornamentation is minimal. The majority display alterations or additions.



**Photo 5.13.** The Minimal Ranch style residence at 2626 Civitan Avenue (8PO08171), facing northwest.



**Photo 5.14.** The Minimal Ranch style residence at 2624 Exchange Avenue (8PO08173), facing north.



**Photo 5.15.** The Minimal Ranch style residence at 1730 Rotary Drive (8PO08180), facing east.

**Minimal Ranch:** Thirteen historic resources within the historic APE are of the Minimal Ranch style (**Photos 5.13-5.15**) and have construction dates from 1959 to 1960 (see **Table 5.1**). These historic resources are part of the Royal Oak Manor subdivision and are all residential buildings. The style, which gained popularity after World War II, features low-slung buildings and a low-pitched roof with large windows (McAlester 2015). Within the APE, this building type has a concrete slab foundation with a concrete block structural system. The majority of these buildings are partially clad in brick veneer and have an attached carport. Roof types consist of side or front gable roofs clad with composition shingles. Fenestration typically includes picture, awning, and single-hung sash windows. Exterior ornamentation is minimal, and typically consists of gable vents with different siding on the gable end and brick veneer. Most display alterations or additions, such as replacement roofs and windows, living-space additions and carports converted into a living-space.





**Photo 5.16.** Atlantic Coast Line – Eaton Park Spur (8PO08480), facing east.



**Photo 5.17.** US 98 (8PO08009), facing northwest.

**Linear Resources:** Three historic resources within the historic APE are linear resources (**Photos 5.16 & 5.17**) and have construction dates from c. 1885 to c. 1963 (see **Table 5.1**). These include the South Florida Railroad (CSX Railroad) (8PO07219), US 98 (8PO08009), a six-lane divided highway, constructed in c. 1940, and a segment of the Atlantic Coast Line – Eaton Park Spur (8PO08480) constructed in c. 1963. The South Florida Railroad (CSX Railroad) (8PO07219) and US



98 (8PO08009) were determined ineligible for listing in the NRHP by the SHPO in 2016 (ACI 2015; Survey No. 22586). The segment of the South Florida Railroad (CSX Railroad) (8PO07219) within the APE has been removed and was turned into a trail for pedestrian and bicyclists as a part of the Rails-to-Trails program (FMSF). In addition, the Atlantic Coast Line – Eaton Park Spur (8PO08480) is a typical example found throughout Florida and was constructed outside of the significant periods of history as stated in the *Florida's Historic Railroad Resources Multiple Property Listing* under property type F.3 (Johnston & Mattick 2001). Overall, the linear resource lacks sufficient engineering features and is not a significant embodiment of a type, period, or method of construction. In addition, background research did not reveal any historic associations with significant persons and/or events. As a result, 8PO08480 does not appear eligible for listing in the NRHP, either individually or as part of a historic district.

### **5.3 Conclusions**

ACI's archaeological survey of the APE included the excavation of 49 shovel tests (26 at 50 m intervals and 23 judgmental), primarily within disturbed soil. As a result, no evidence of any prehistoric or historic archaeological sites was found within the APE.

The historical/architectural background research indicated five historic resources (8PO07219, 8PO08009, 8PO04065, 8PO04066, and 8PO04067) were previously recorded within the historic APE. As a result of the historical/architectural field survey, 37 historic resources (8PO08162-8PO08196; 8PO08479 and 8PO08480) were newly identified, recorded, and evaluated. These include Frame Vernacular, Masonry Vernacular, Industrial Vernacular, and Minimal Ranch style buildings constructed between ca. 1958 and ca. 1969 as well as one linear resource. Overall, these resources are common examples of their respective architectural styles that have been altered or were built to basic engineering standards and are not of a unique design or a rare example of its type. In addition, background research did not reveal any historic associations with significant persons and/or events. Thus, these historic resources do not appear eligible for listing in the NRHP, either individually or as part of a historic district.

Given the results of background research and field survey, no cultural resources that are listed, eligible for listing, or that appear potentially eligible for listing in the NRHP were located within the APE. Therefore, it is the professional opinion of ACI that there will be no historic properties affected by this project.

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**APPENDIX A: Preliminary Cultural Resource Assessment Probability Analysis Technical Memorandum**



**PRELIMINARY CULTURAL RESOURCE ASSESSMENT  
PROBABILITY ANALYSIS  
TECHNICAL MEMORANDUM**

**PROPOSED STORMWATER MANAGEMENT FACILITY (SMF) SITES**

**SR 659 (COMBEE ROAD)  
FROM US 98 TO NORTH CRYSTAL LAKE DRIVE  
POLK COUNTY, FLORIDA**

**Financial Project ID.: 440274-1-22-01  
Federal Aid Project No.: D117-089-B  
Work Program Item Segment No.: 440274-1-22-01  
ETDM No: 14326**

Prepared for:



**Florida Department of Transportation  
District One  
801 North Broadway Avenue  
Bartow, Florida 33830**

**October 2020**

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Prepared for:



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District One  
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189 South Orange Avenue, Suite 1000  
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**October 2020**

**PRELIMINARY CULTURAL RESOURCE ASSESSMENT  
PROBABILITY ANALYSIS TECHNICAL MEMORANDUM  
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POLK COUNTY, FLORIDA  
Financial Project ID.: 440274-1-22-01; Federal Aid Project No.: D117-089-B  
Work Program Item Segment No.: 440274-1-22-01**

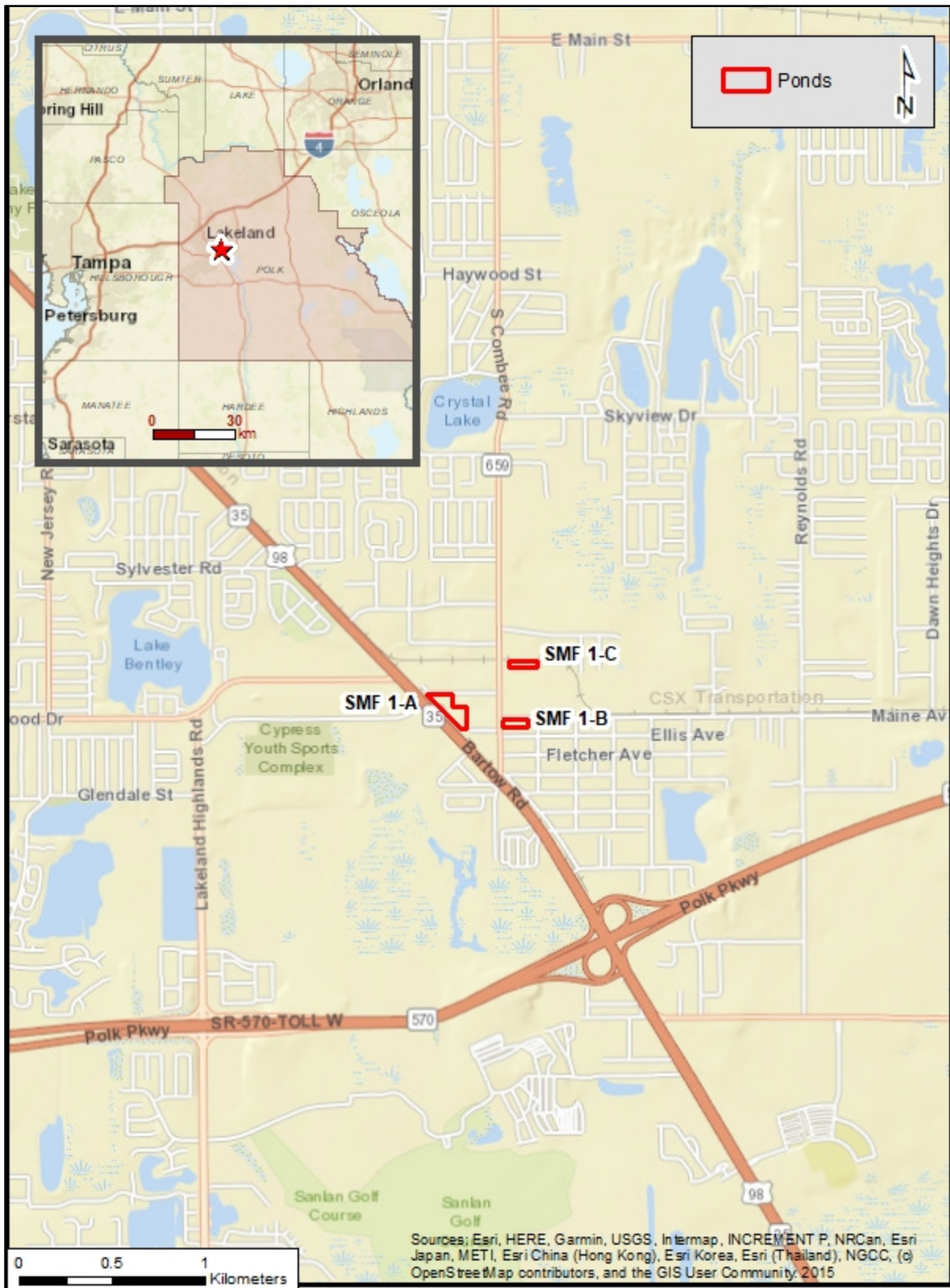
## **1.0 INTRODUCTION**

The purpose of this study was to determine, preliminarily, if any significant or potentially significant cultural resources, including archaeological sites and historic resources, will be impacted by the construction of any of the three proposed Stormwater Management Facility (SMF) Sites associated with the Combee Road improvements from US 98 to N Crystal Lake Drive in Polk County (**Figure 1**). Known or potentially significant cultural resources are defined as those sites that are listed, determined eligible, or considered potentially eligible for listing in the National Register of Historic Places (NRHP). All work was conducted in compliance with the provisions of the *National Historic Preservation Act of 1966* (Public Law 89-665), as amended, and the implementing regulations 36 CFR 800, as well as with the provisions contained in the revised Chapter 267, *Florida Statutes (FS)*. The archaeological area of potential effect (APE) for this analysis includes the area within the proposed pond sites. The historic APE includes the archaeological APE and immediately adjacent properties.

Archaeological Consultants, Inc. (ACI) evaluated each of the proposed pond sites for archaeological and historical potential. The study methodology included a review of Florida Master Site File (FMSF) records, NRHP listings, relevant cultural resource assessment survey (CRAS) reports, and the U.S. Department of Agriculture's (USDA) *Soil Survey of Polk County, Florida* (USDA 1990). Relevant CRAS reports included a review of roadway surveys such as the Impact Corridor of the Lakeland Reuse Line (Piper et al. 1980; Survey No. 450), the Project Development and Environment (PD&E) Study of US 98 (Janus 1995; Survey No. 4142), and US 98 (SR 700) from South of Brooks Street to South of Edgewood Drive North (ACI 1997; Survey No. 4897). Other surveys conducted in the vicinity include cellular towers (Torres 2005; Survey No. 11272), utilities (Athens and Berkin 1994; Survey No. 19859); and an archaeological predictive model for the City of Lakeland (ACI 1999; Survey No. 5828). None of these resulted in the identification of archaeological sites near the APE. Based on this review, the APE has a low to moderate archaeological probability.

For historic resources, relevant quadrangle maps (United States Geological Survey [USGS] Lakeland, 1975), historic aerial photographs, and Polk County property appraiser's website data were reviewed to determine the potential for unrecorded resources which might be 50 years of age or older (constructed in or prior to 1970) (Faux 2020). The historic resources review indicated no previously recorded resources are located within or adjacent to the proposed SMF sites. Background research also indicated the potential for approximately six historic resources, 50 years of age or older, located within the historic APE that will need recording in the FMSF. This information is summarized in **Table 1**.

In conclusion, based on the preliminary analysis, no proposed pond site should be avoided due to cultural resource issues. Following selection of the preferred pond sites, systematic and judgmental testing for archaeological field survey is recommended; historical/architectural field survey is also recommended.



**Figure 1.** Location of the APE, Polk County.



## 2.0 DESCRIPTION OF KNOWN ARCHAEOLOGICAL AND HISTORIC RESOURCES AND SITE POTENTIAL

**Archaeological Sites:** A check of the FMSF digital database (September 2020) indicated that no previously recorded archaeological sites are located within or adjacent to the APE (**Figure 2**). Based on the information gathered during a review of previously recorded sites and location criteria, including elevation, soil drainage characteristics, and proximity to freshwater, there is a pattern favoring the relatively better-drained terrain near a permanent or semi-permanent source of potable water including rivers, creeks, and freshwater marshes. Upland sites well removed from potable water are rare. In the pine flatwoods, sites tend to be situated on ridges and knolls near a freshwater source. It should be noted that the settlement patterns noted above could not be applied to sites of the Paleoindian and Early Archaic periods, which precede the onset of modern environmental conditions. Given these known patterns of aboriginal settlement and the disturbed nature of the APE, the project area was considered to have a low probability for archaeological site occurrence. Research suggests that the most likely type of aboriginal site would be an artifact, lithic, or ceramic scatter. Background research also suggested a low potential for the discovery of 19<sup>th</sup> century and earlier archaeological sites (including nineteenth century homesteads, forts, trails, roads, or Indian encampments) within the APE based on two of the three sites having an historic component.

**Historic Resources:** Background research, which included a review of the FMSF and NRHP, indicated no previously recorded historic resource are located within or adjacent to the historic APE. One historic linear resource, the former South Florida Railroad, now CSX Railroad (8PO07219), segments were previously recorded outside the APE. The segments outside the historic APE were evaluated in 2016 by the State Historic Preservation Officer (SHPO) as ineligible for listing in the NRHP. An unrecorded segment of the CSX Railroad (8PO07219) is located immediately adjacent to proposed pond site SMF 1-A (**Table 1; Figure 2**). The potential for newly identified historic resources was determined by examining property appraiser records (Faux 2020), historic aerial imagery on file at the Publication of Archival, Library, and Museum Materials (PALMM), as well as the USGS quadrangle maps, and previously conducted CRAS reports. This indicated the potential for approximately five new historic resources within the historic APE that will need recording in the FMSF.

**Table 1.** Archaeological and historic data.

SMF Site	ZAP*	Comments (i.e. soils, vegetation, drainage, previously recorded sites, etc.)
SMF 1-A	Low	Prehistoric Archaeological: no previously recorded sites within or adjacent to APE
	Low	Historic Archaeological: no previously recorded sites within or adjacent to APE
	Low	Historical: no previously recorded resources within or adjacent; unrecorded segment of the CSX Railroad (8PO07219) adjacent to the APE
SMF 1-B	Low	Prehistoric Archaeological: no previously recorded sites within or adjacent to APE
	Low	Historic Archaeological: no previously recorded sites within or adjacent to APE
	Low	Historical: no previously recorded resources within or adjacent; one newly identified historic resource within and three immediately adjacent to the APE
SMF 1-C	Low	Prehistoric Archaeological: no previously recorded sites within or adjacent to APE
	Low	Historic Archaeological: no previously recorded sites within or adjacent to APE
	Low	Historical: no previously recorded resources within or adjacent; one newly identified historic resource immediately adjacent to the APE

\* Zone of Archaeological Potential



**Figure 2.** Environmental setting and previously recorded cultural resources within or immediately adjacent to the APE.

### 3.0 CONCLUSIONS AND RECOMMENDATIONS

In conclusion, based on the preliminary analysis, no proposed pond site should be avoided due to cultural resource issues. Following approval of the preferred pond sites, systematic archaeological field survey is recommended in accordance with the guidelines and standards promulgated by the Florida Department of Transportation (FDOT) and Florida Division of Historical Resources (FDHR). Historical/architectural field survey is also recommended.

### 4.0 BIBLIOGRAPHY

Archaeological Consultants, Inc. (ACI)

- 1997 Cultural Resource Assessment Survey Technical Memorandum U.S. 98 (S.R. 35) South of Brooks Street to South of Edgewood Drive North Polk County, Florida. ACI, Sarasota. FDHR, Tallahassee, Survey No. 4897.
- 1999 Archaeological Site Location Predictive Model for the City of Lakeland. ACI, Sarasota. FDHR, Tallahassee, Survey No. 5828.

Athens, William and Jon Berkin

- 1994 Phase I Archaeological Survey of the Proposed Florida Gas Transmission Company Lakeland 4 Contractor Warehouse Facility. FDHR, Tallahassee, Survey No. 19859.

Faux, Marsha

- 2020 Polk County Property Appraiser Data.

Florida Master Site File (FMSF)

- n.d. Various site file forms. On file, FDHR, Tallahassee.

Janus Research

- 1995 Cultural Resource Assessment Survey of US 98 (SR 700/Bartow Highway) from North of Brooks Street to Business US 92/Main Street Project Development and Environment Study, Polk County, Florida. FDHR, Tallahassee, Survey No. 4142.

Piper Archaeological Research, Inc.

- 1980 An Archaeological and Historical Survey of the Impact Corridor for the Proposed Lakeland Reuse Line, Lakeland, Polk County, Florida. FDHR, Tallahassee, Survey No. 450.

Torres, Josh M.

- 2005 Cultural Resource Survey of the Lake Bentley Cell Tower in Polk County, Florida. FDHR, Tallahassee, Survey No. 11272.

United States Department of Agriculture (USDA)

- 1990 *Soil Survey of Polk County*. USDA, Soil Conservation Services, Washington, D.C.

United States Geological Survey (USGS)

- 1975 Lakeland, Photorevised 1987.

**APPENDIX B: Additional photographs of APE showing modern disturbance.**





Looking north at ditch, pavement, and utilities within a moderate probability area of APE.



Looking south at disturbance within area of moderate probability near the north end of APE.





Looking south at gas line, utilities, pavement, and ditch in area east of Kiwanis Avenue within the APE.



Looking west at intersection of Combee Road and Skyview Drive at the northern end of the APE.  
Note examples of disturbance.





Looking north/northeast at general view of Combee Road and US 98 intersection.



Looking east at Skyview Drive towards Combee Road.

## **APPENDIX C: Florida Master Site File Forms**

☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008162**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 3020 COMBEE RD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 3020 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) NE intersection Combee Rd & Atlantic Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 7 PG 43  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 34 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-34-268000-005290 Landgrant \_\_\_\_\_  
 Subdivision Name EATON PARK Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410782 Northing 3098533  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1967 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Store From (year): 1967 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, canopy cover  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) AGBARA POLYCARP (2005), DQN INC (2000)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Flat 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Built-up 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) picture, metal frame, grouped (6); fixed  
 Distinguishing Architectural Features (exterior or interior ornaments) cantilever canopy, picture windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through two sets of double full-view metal-frame glass doors w/ transom beneath a flat cantilever canopy  
 Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The commercial building has a brick veneer facade with centrally grouped picture windows flanked by double full-view glass doors beneath a flat cantilever canopy.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



## PHOTOGRAPH



Facing southeast

## AERIAL MAP







USGS Lakeland  
Township 28 South, Range 24 East, Section 34



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **P008163**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 3002 COMBEE RD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 3002 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) SE intersection Combee Rd & Fletcher Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 7 PG 43  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 34 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-34-268000-005010 Landgrant \_\_\_\_\_  
 Subdivision Name EATON PARK Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410772 Northing 3098581  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1968 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Store From (year): 1968 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) PHILIP K JOSEPH (2000)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual, 1/1

Distinguishing Architectural Features (exterior or interior ornaments) extended gable canopy with spindle post supports, broad brick chimney, concrete sills, gable end vents

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) 1971 concrete block store located east of main building

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Brick 2. \_\_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_\_  
 Main Entrance (stylistic details) W elev: through single panel door with 9-light window beneath extended gable canopy

Porch Descriptions (types, locations, roof types, etc.) W/ENTRANCE: open, full-width beneath an extended gable canopy with spindle post supports

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource Building has a front-gable roof and an extended gable canopy with spindle post supports. A broad brick chimney is located on the north elevation.

Archaeological Remains \_\_\_\_\_ ☐Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps  
☐FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps  
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)  
☐cultural resource survey (CRAS) ☐historic photos ☐interior inspection ☐HABS/HAER record search  
☒other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing northeast

**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 34



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008164**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 2915 COMBEE RD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 2915 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) SW intersection Combee Rd & Lyon Drive  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 33 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-33-000000-011030 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410726 Northing 3098706  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1967 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Cafeteria/Restaurant/Diner From (year): 1967 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature south elevation  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) 29 PROPERTIES LLC (2005), BILL WISE (2003)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Flat 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Built-up 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) awning, individual & paired, metal frame, 3-stacked  
 Distinguishing Architectural Features (exterior or interior ornaments) cantilever canopy, awning windows, concrete sills  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) 1975 storage warehouse located southwest of main building

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) E elev: through single solid door with 1-light beneath a flat cantilever canopy

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The Masonry Vernacular style building has a flat cantilever canopy sheltering the entrance walkway. Various murals are painted on the front and new restaurant signage is been placed on the roof.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPH



Facing west

AERIAL MAP







USGS Lakeland  
Township 28 South, Range 24 East, Section 33





# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **P008165**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

☒ Original  
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 2701 COMBEE RD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 2701 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) between McJunkin Rd & CSX Railroad  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-000000-022110 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410700 Northing 3099065  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1965 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Factory/Plant/Industrial From (year): 1965 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature south elevation & office  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) FLANDERS REAL ESTATE LLC (2003)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Industrial Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Metal 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Sheet metal:3V crimp 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) sliding, individual

Distinguishing Architectural Features (exterior or interior ornaments) roller and sliding bay doors, ridge vents, steel skeleton, louvered wall vents

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) 2004 metal frame office building

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Steel skeleton 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) E elev: through a single full-view metal frame glass door beneath a metal frame cornice.  
 Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The Industrial Vernacular style building is composed of two rectangular steel frame structures with gable roofs connected together. In 2004 an office was added to the east elevation entrance.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

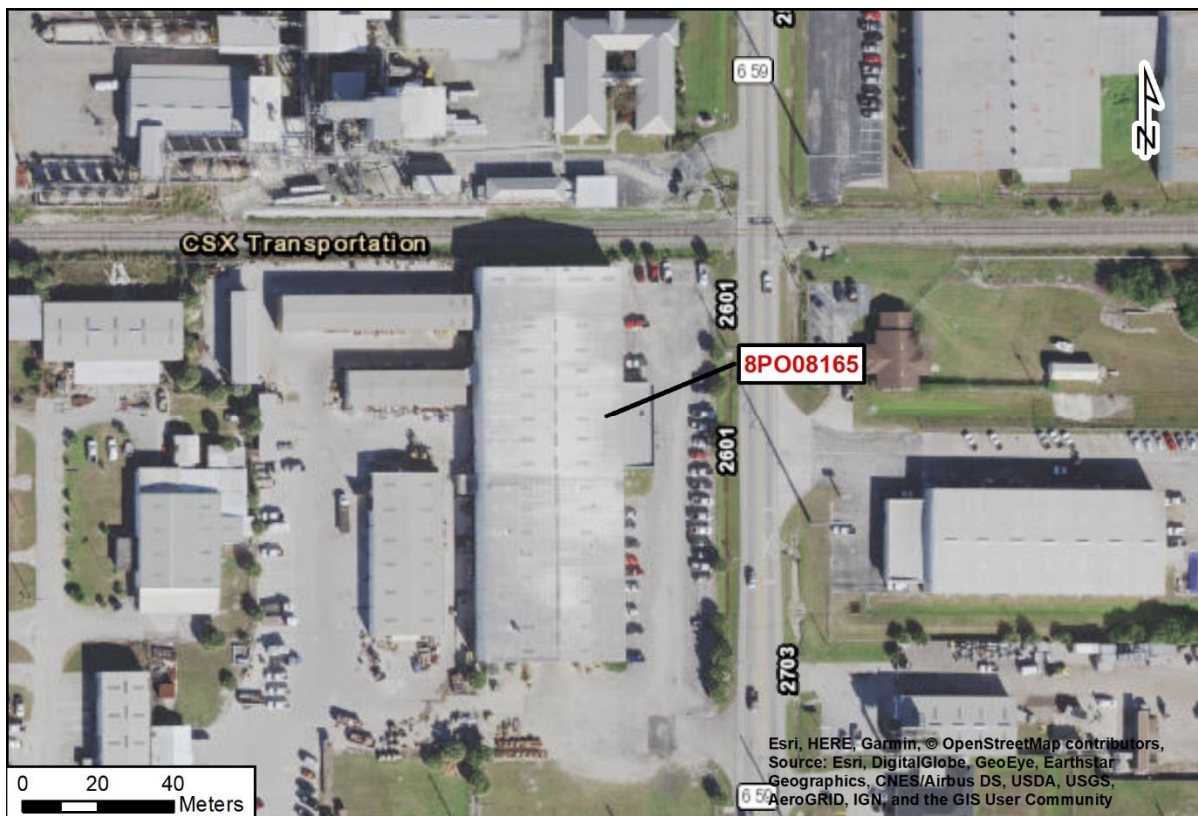


**PHOTOGRAPH**



Facing southwest

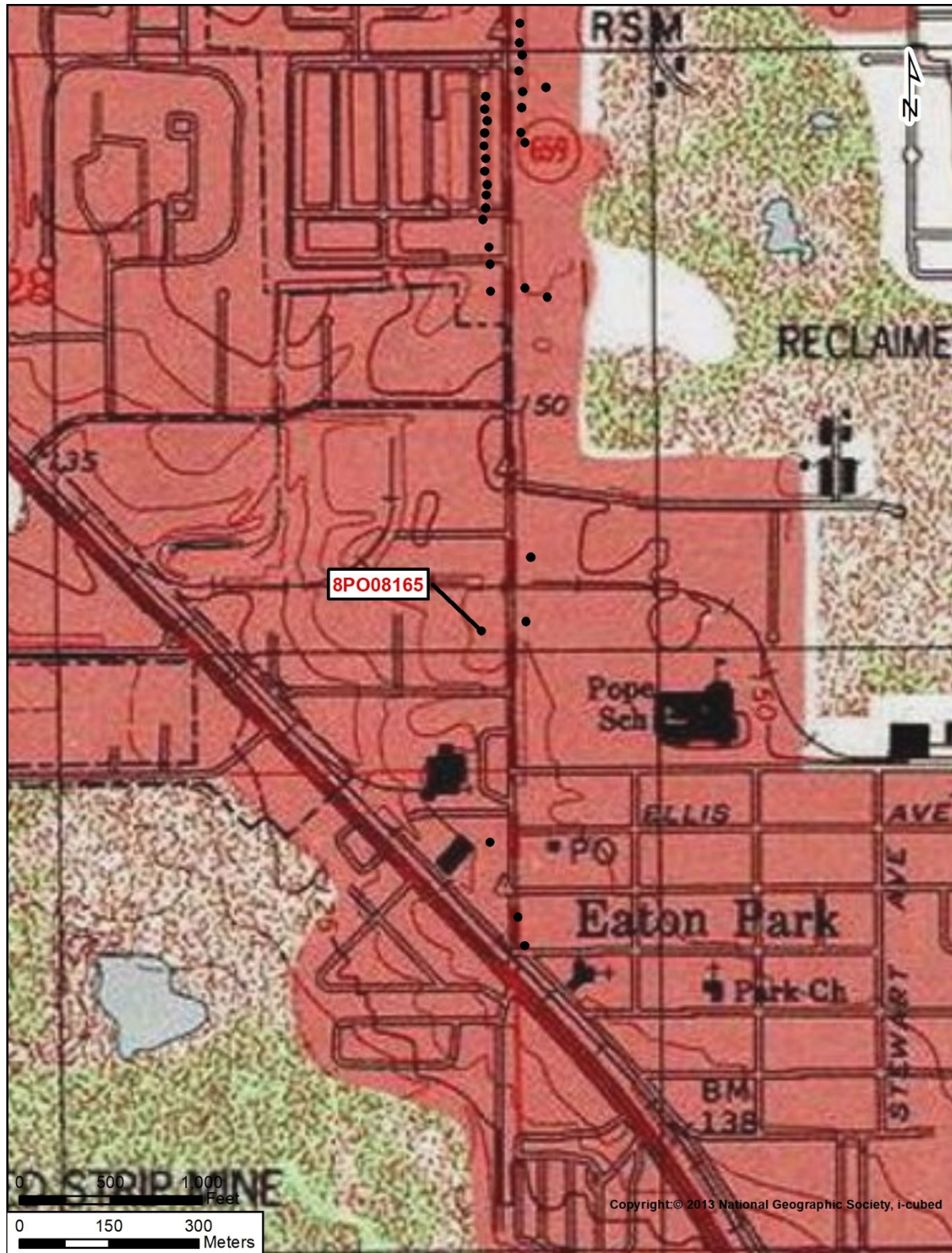
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008166**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 2690 COMBEE RD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: Street Number 2690 Direction \_\_\_\_\_ Street Name Combee Street Type Road Suffix Direction S  
 Cross Streets (nearest/between) SE at Combee Rd & CSX Railroad  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-044004 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410789 Northing 3099074  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1963 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Dentist/Medical/Professional office From (year): 1963 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature north elevation & front porch  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) 2690 S COMBEE ROAD LAND TRUST (2005), JOHN HERNDON (2003)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Brick 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) picture, individual & paired  
 Distinguishing Architectural Features (exterior or interior ornaments) brick sills, gable end vents

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Continuous 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete Block 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through single panel door with fanlight beneath extended hip canopy

Porch Descriptions (types, locations, roof types, etc.) W/ENTRANCE: open, partial-width beneath an extended hip canopy with metal post supports and metal railing

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource Building has side-gable and cross-hipped roofs with a hip canopy. A wood-frame addition is located on the north elevation.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing east

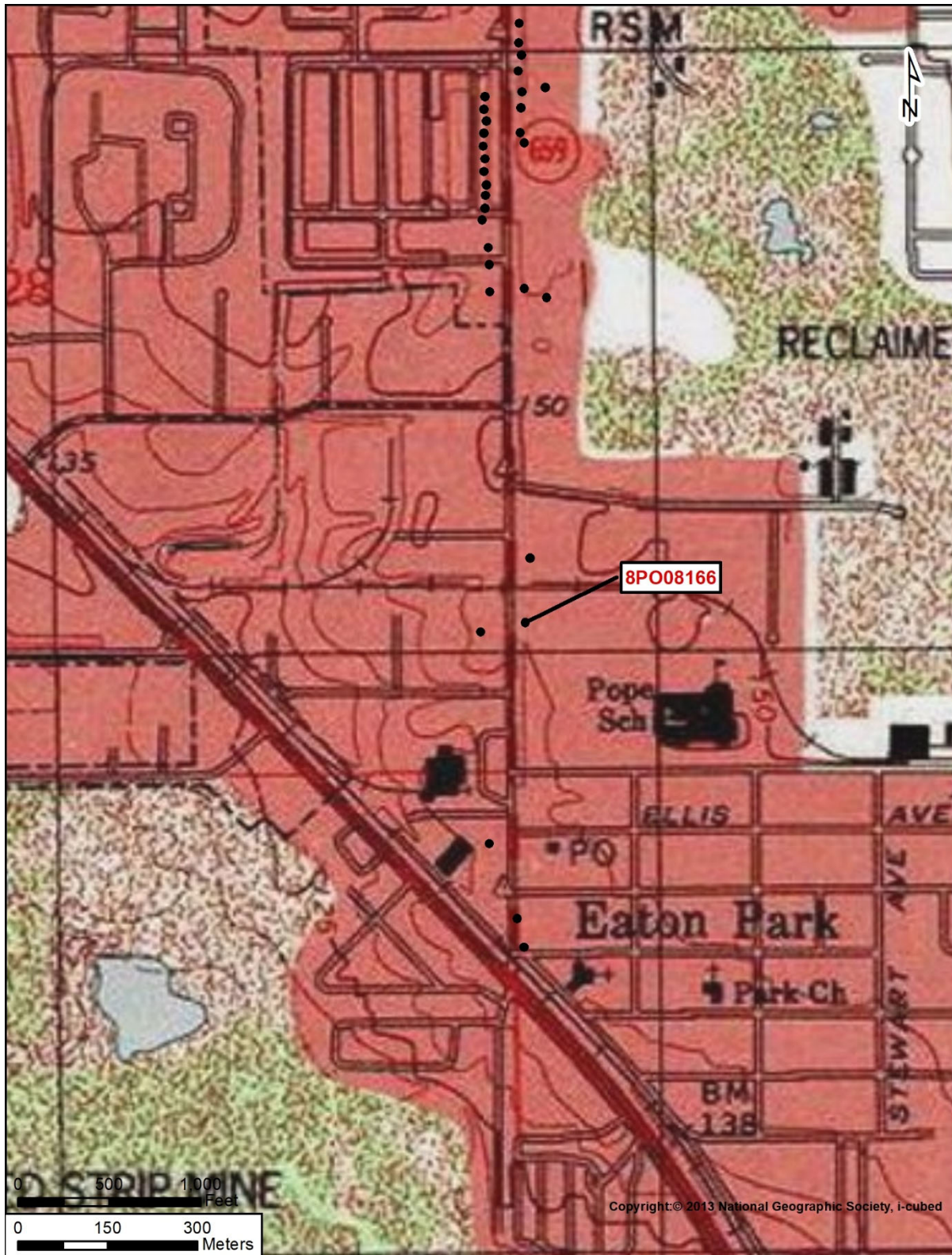
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27





# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **P008167**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

☒ Original  
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 2500 COMBEE RD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 2500 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) between CSX Railroad & Mine & Mill Road  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-043004 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410814 Northing 3099170  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1967 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Factory/Plant/Industrial From (year): 1967 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof  
 Additions: ☐ yes ☐ no ☒ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) \_\_\_\_\_

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Industrial Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Brick 2. Metal 3. \_\_\_\_\_  
 Roof Type(s) 1. Flat 2. Gable 3. \_\_\_\_\_  
 Roof Material(s) 1. Built-up 2. Sheet metal:3V crimp 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) awning, individual & paired, 2-, 3-, & 6-stacked  
 Distinguishing Architectural Features (exterior or interior ornaments) roller bay doors, loading dock, ridge vents, steel skeleton, louvered wall vents  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. Steel skeleton 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) E elev: through single full-view metal frame glass door with transom and one sidelight beneath the flat roof overhang.  
 Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The Industrial Vernacular style building is composed of three different buildings connected together. A front office is connected to a large storage warehouse that is connected to a large open shell building, all constructed circa 1967.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing southeast

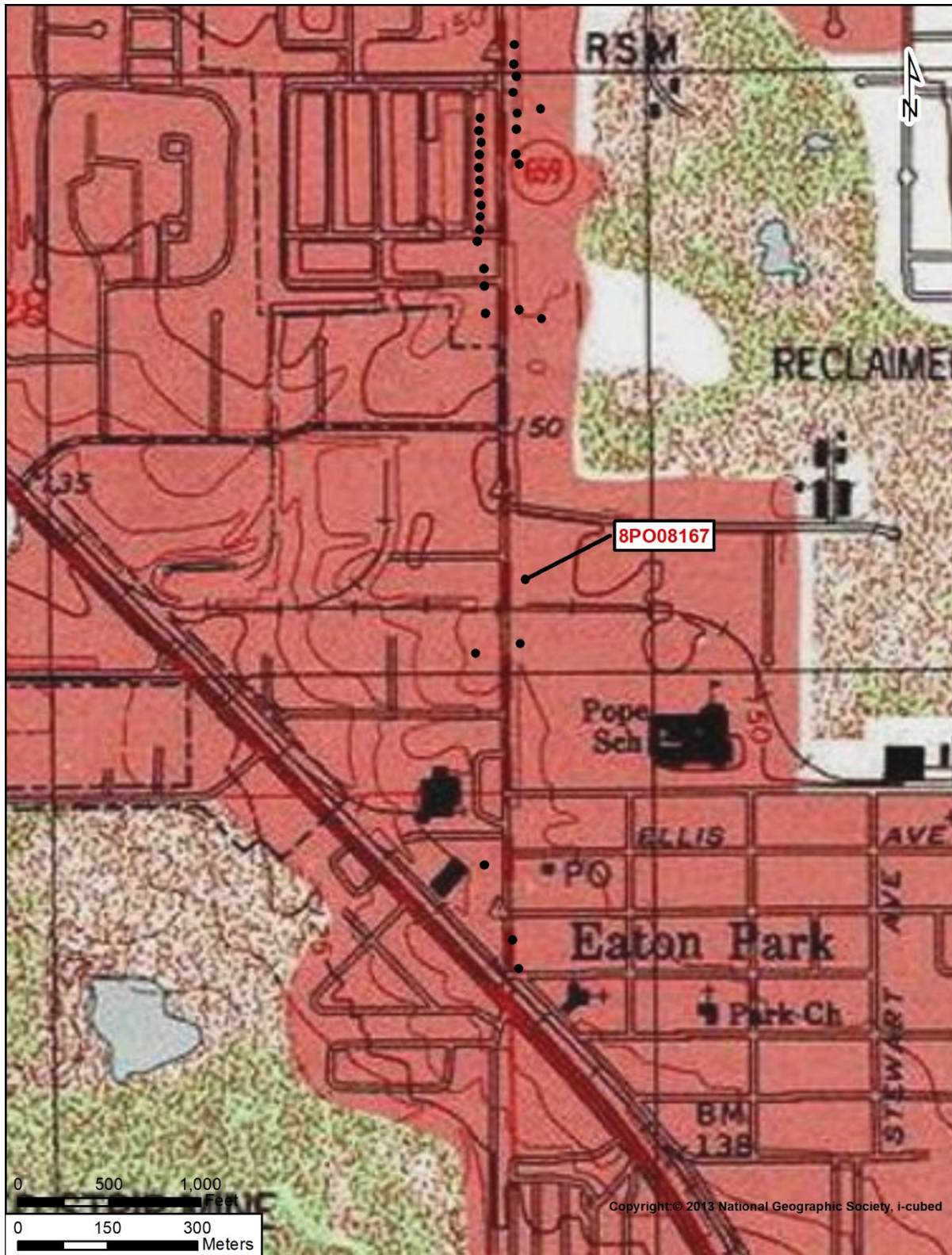
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008168**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 2008 COMBEE RD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 2008 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) SE intersection of Combee Rd & Civitan Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-034008 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410829 Northing 3099616  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1969 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Storage building From (year): 1969 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature north elevation  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) DIXIELAND PARTNERS LLC (2016), STANLEY BOB W REV TR (2014), STANLEY INVESTMENTS LC (2004), JOHNNY W BRACKIN (2000)  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Industrial Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Metal 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Sheet metal:3V crimp 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) \_\_\_\_\_  
 Distinguishing Architectural Features (exterior or interior ornaments) roller bay doors, ridge vents, loading dock, steel skeleton  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) 1968 steel frame storage warehouse (8P008169) & a 1983 steel frame storage warehouse

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Keeper – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Steel skeleton 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through a single metal door and roller bay doors; E elev: roller bay doors

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The Industrial Vernacular style building is composed of two rectangular steel frame structures connected together; the original bldg with a gable roof and the addition beneath a shed roof. Rear loading dock is elevated on concrete block.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing southeast

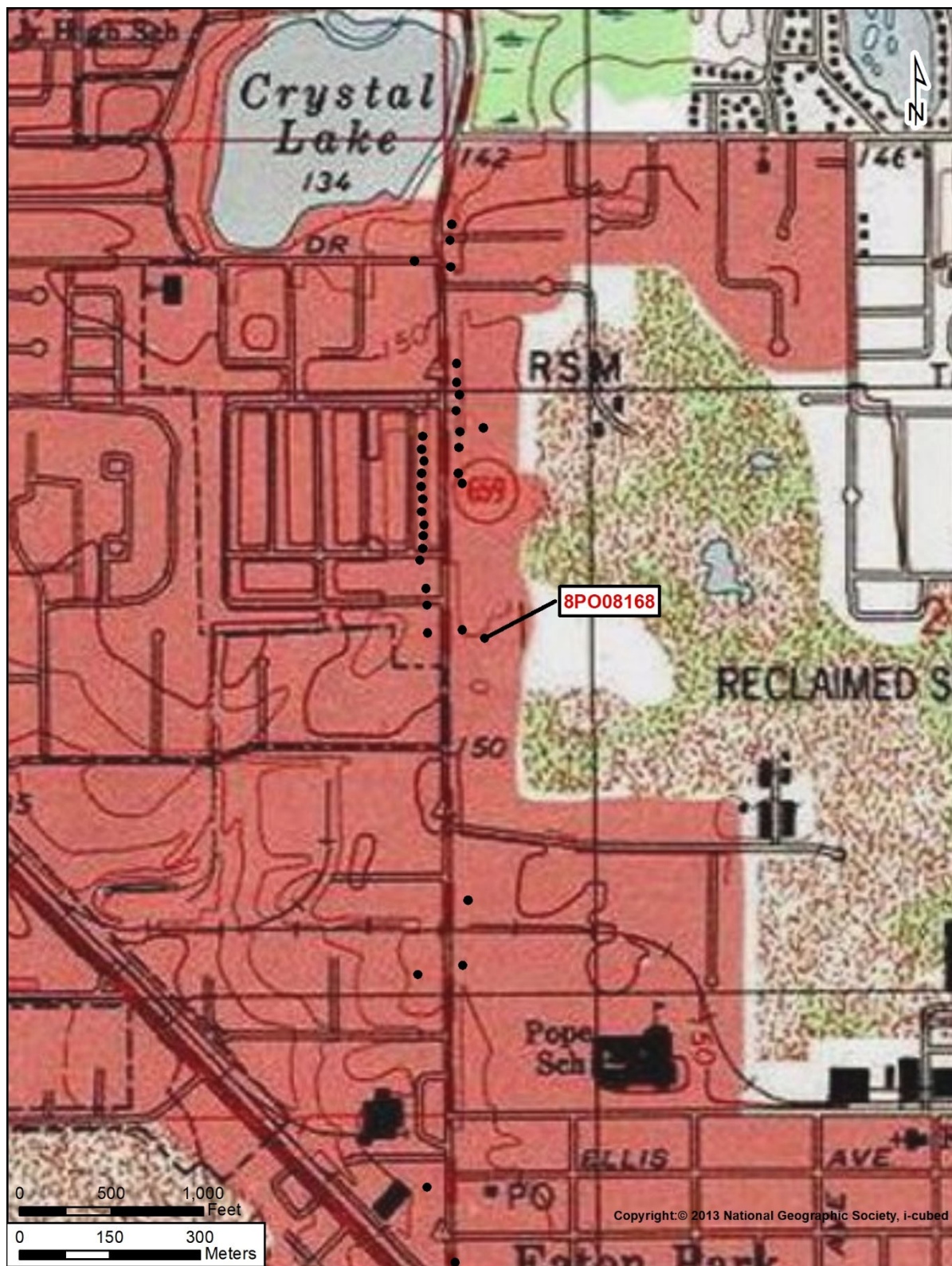
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008169**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 2000 COMBEE RD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 2000 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) SE intersection of Combee Rd & Civitan Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-034008 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410792 Northing 3099631  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1968 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Storage building From (year): 1968 To (year): 2008  
 Current Use Shop From (year): 2008 To (year): cur  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, enclosed door, siding  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) DIXIELAND PARTNERS LLC (2016), STANLEY BOB W REV TR (2014), STANLEY INVESTMENTS LC (2004), JOHNNY W BRACKIN (2000)  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Industrial Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Metal 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Sheet metal:3V crimp 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) fixed, paired  
 Distinguishing Architectural Features (exterior or interior ornaments) steel skeleton, artbrick, flat canopy

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) 1969 steel frame storage warehouse (8P008168) & a 1983 steel frame storage warehouse

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Steel skeleton 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) w elev: through a single full-view metal frame glass door w/ transom & single sidelight beneath a suspended flat canopy  
 Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The Industrial Vernacular style building has a front gable roof. The facade is clad with a mix of brick veneer and standing seam metal.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPH



Facing northeast

AERIAL MAP







USGS Lakeland  
Township 28 South, Range 24 East, Section 27



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **PO08170**  
 Field Date 2-14-2019  
 Form Date 3-14-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1923 COMBEE RD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

## LOCATION & MAPPING

Address: 1923 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) SW intersection at Combee Rd & Civitan Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 42  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245800-003010 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR 1ST ADD Block 3 Lot 1&2  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410735 Northing 3099626  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

## HISTORY

Construction Year: 1960 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Store From (year): 1960 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows; window removal  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature west elevation  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) JOHN C. RACER (2006)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

## DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Cross-gabled 2. Flat 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) picture, individual; awning, individual, metal, 3-stacked  
 Distinguishing Architectural Features (exterior or interior ornaments) artbrick at window base; concrete sill

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_

Main Entrance (stylistic details) E elev: through single full-view metal frame glass door beneath a gable canopy

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource Building has received multiple additions on the west elevation by connecting to an adjacent 1960s building beneath a flat roof and extending the gable roof line.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing west

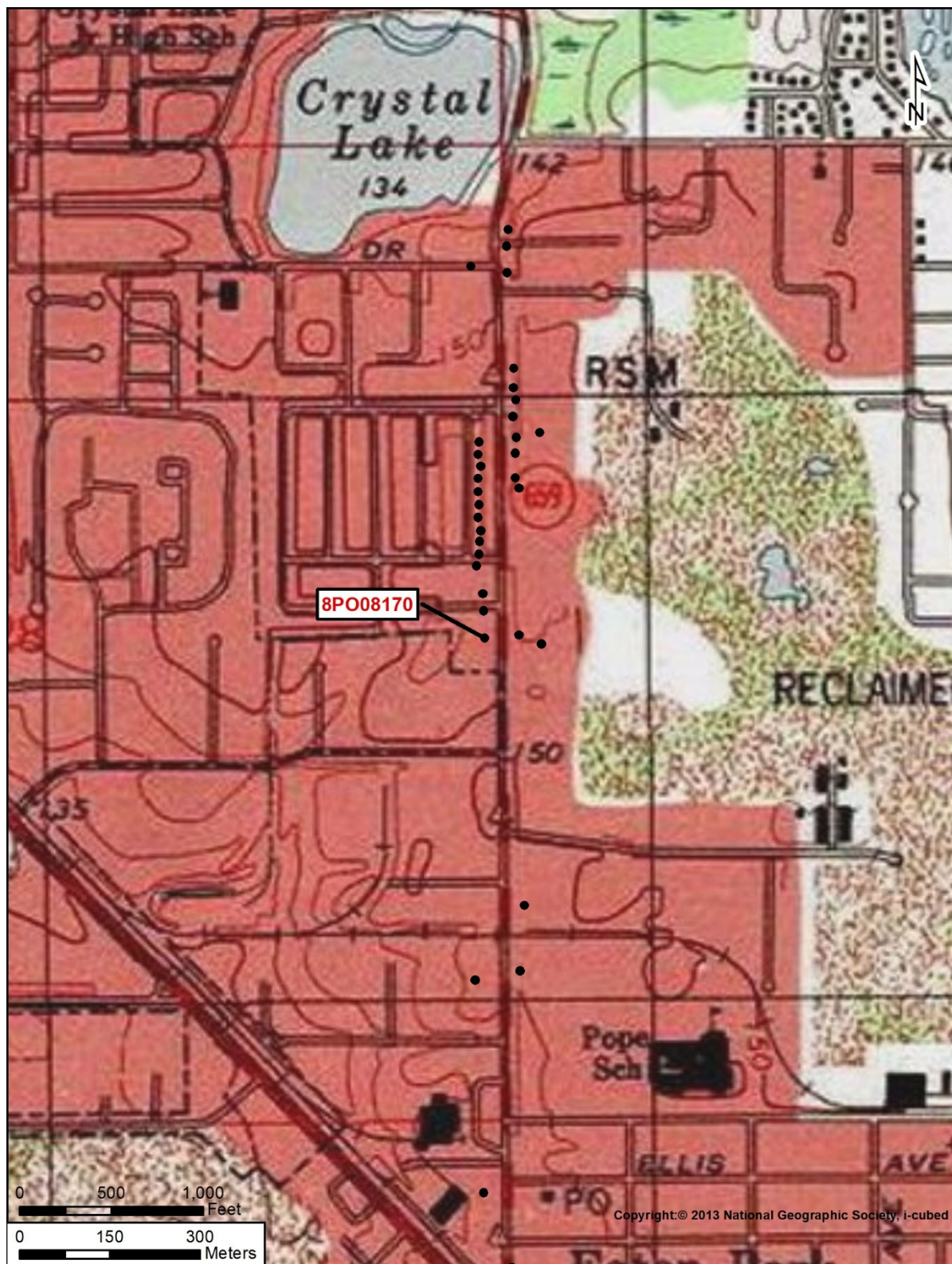
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08171**  
 Field Date 2-14-2019  
 Form Date 3-14-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 2626 CIVIATN AVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 2626 Civitan Avenue  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) NW intersection at Combee Rd & Civitan Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 42  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245800-001180 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR 1ST ADD Block 1 Lot 18  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410734 Northing 3099672  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1960 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1960 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) DANIEL SOWDER (2018), MARY E STARLING

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) picture, individual; SHS, individual, vinyl, 1/1

Distinguishing Architectural Features (exterior or interior ornaments) concrete sill, gable end vent, vertical plank on gable end, stucco shutters

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) S elev: through single panel door with fanlight beneath a flat roof with metal supports  
 Porch Descriptions (types, locations, roof types, etc.) S/ENTRANCE: open, partial-width, within the carport beneath a gable roof

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a front gable roof with an attached carport beneath a gable roof. A utility roof is located on the west elevation of the carport. The front window has stucco shutters.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing north

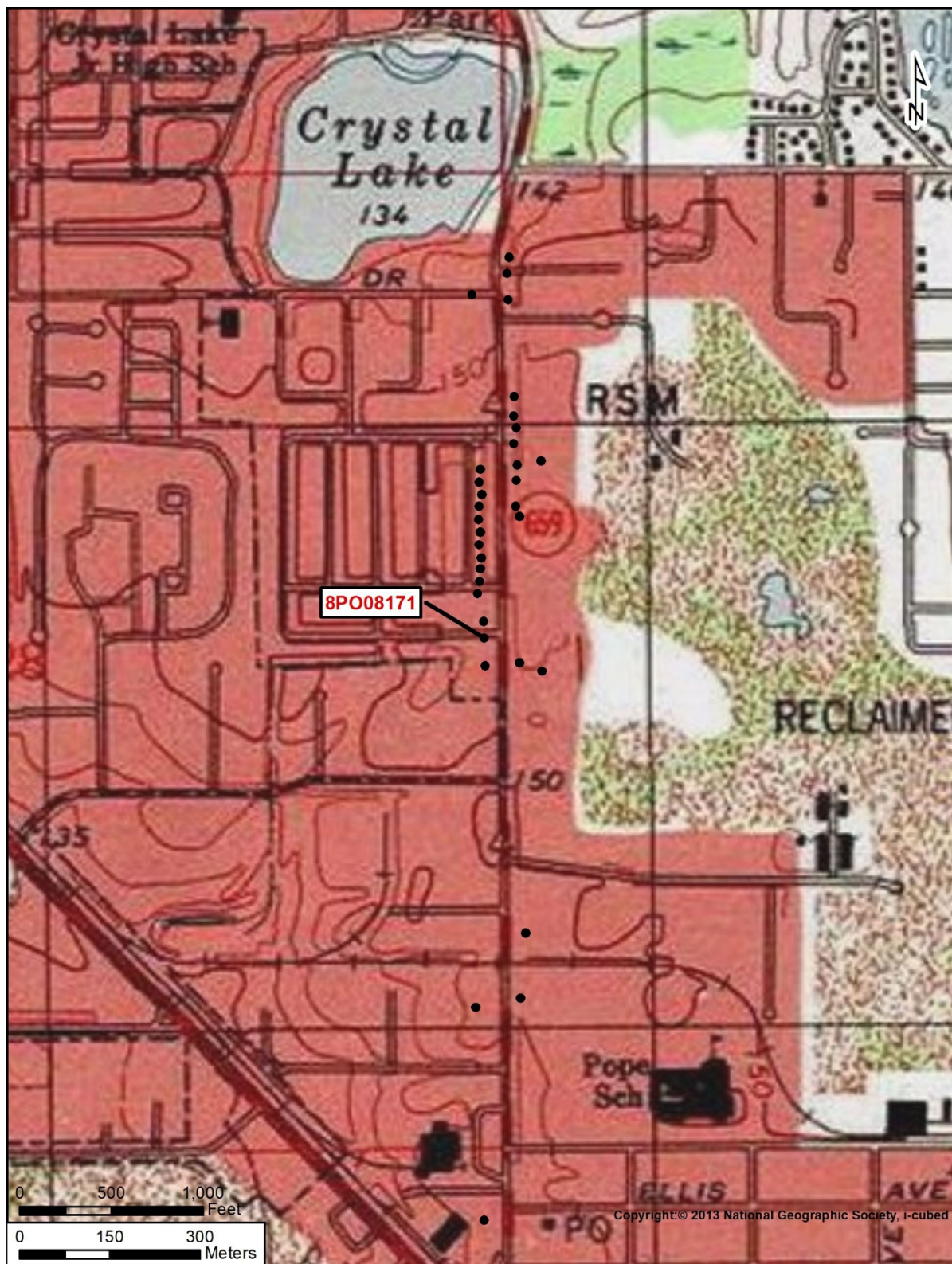
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08172**  
 Field Date 2-14-2019  
 Form Date 3-14-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 2625 EXCHANGE AVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 2625 Exchange Avenue  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) SW intersection at Combee Rd & Exchange Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 42  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 4-28-28-245800-001010 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR 1ST ADD Block 1 Lot 1  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410733 Northing 3099700  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1960 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1960 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows, enclosed carport  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature flat roof carport  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) CARL E COKER

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Brick 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) picture, individual; SHS, individual, vinyl, 1/1; fixed  
 Distinguishing Architectural Features (exterior or interior ornaments) brick sill, gable end vent, horizontal plank on gable end, metal porch supports

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) N elev: through single panel door with fanlight beneath a flat roof with metal supports  
 Porch Descriptions (types, locations, roof types, etc.) N/ENTRANCE: open, partial-width, beneath a flat roof with metal supports

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a front gable roof with an attached carport beneath a gable roof that has been converted into living space. An attached flat roof carport was added to the front drive.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)  
 Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.  
 Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)  
 1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing south

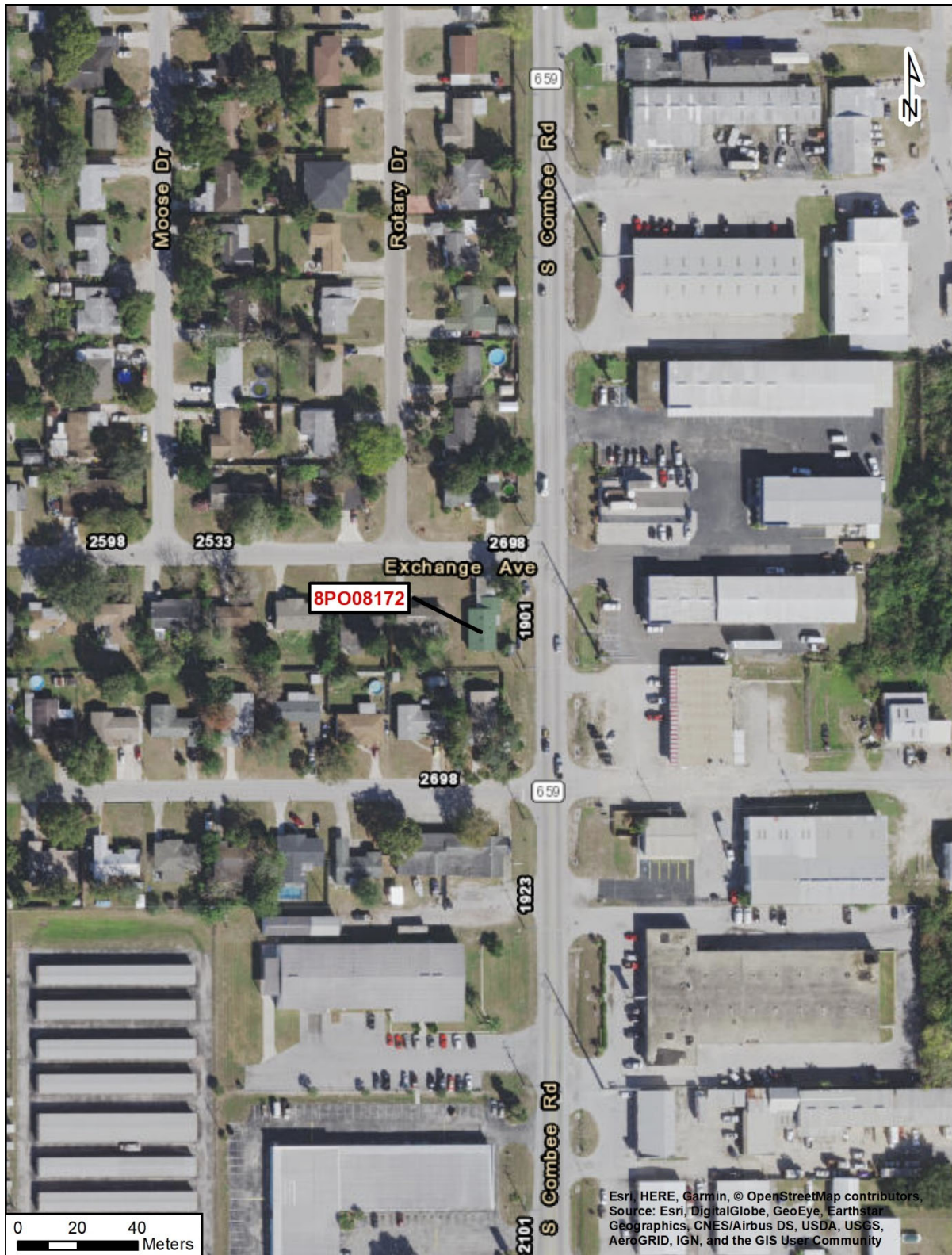


Facing southeast





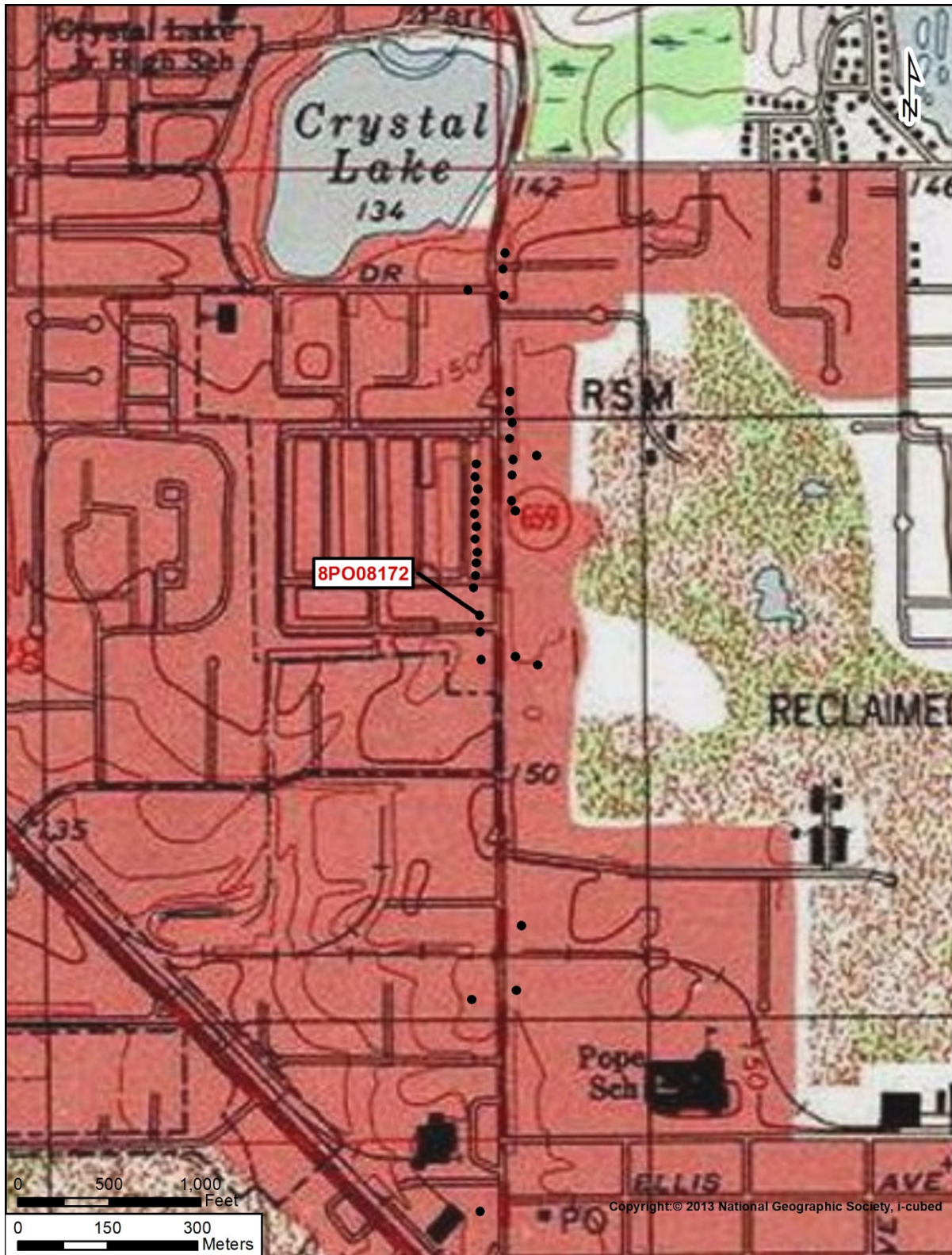
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08173**  
 Field Date 2-14-2019  
 Form Date 3-14-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 2624 EXCHANGE AVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 2624 Exchange Avenue  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) NW intersection at Combee Rd & Exchange Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007110 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 11  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410729 Northing 3099747  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows, enclosed carport  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature screen porch  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) CARL E COKER

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Brick 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual, vinyl, 1/1, 3/3, 8/8

Distinguishing Architectural Features (exterior or interior ornaments) concrete sill, gable end vent, vertical plank on gable end, artbrick beneath window

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_

Main Entrance (stylistic details) S elev: through single panel door with an oval window beneath a flat roof

Porch Descriptions (types, locations, roof types, etc.) S/ENTRANCE: open, partial-width, beneath a flat roof

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource The building has a side gable roof with a carport beneath the principal gable roof that has been converted into living space. The building has artbrick beneath the windows on the facade.

Archaeological Remains \_\_\_\_\_ ☐Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps  
☐FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps  
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)  
☐cultural resource survey (CRAS) ☐historic photos ☐interior inspection ☐HABS/HAER record search  
☒other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





**PHOTOGRAPH**



Facing north

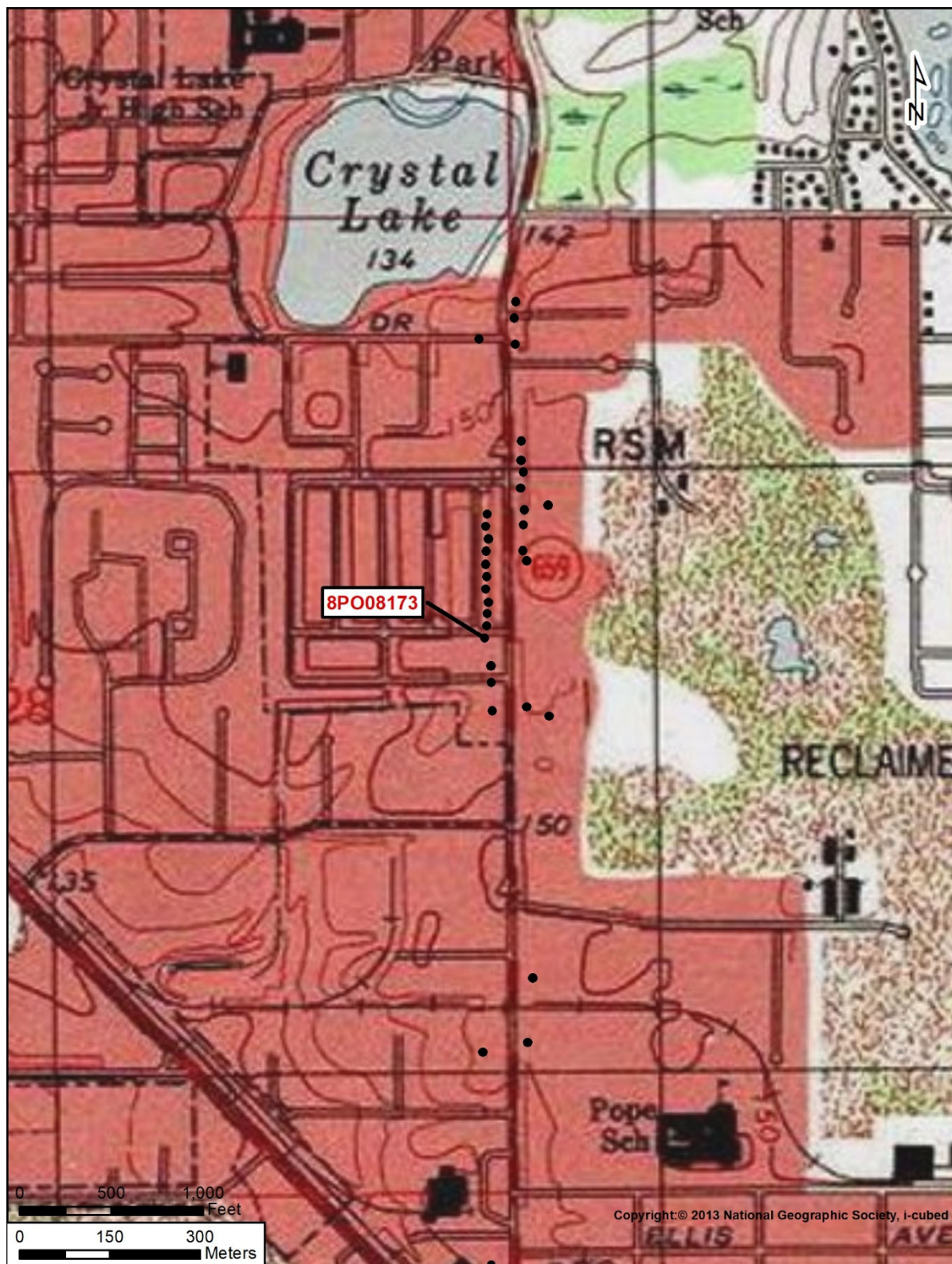
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08174**  
 Field Date 2-14-2019  
 Form Date 3-15-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1828 ROTARY DRIVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1828 Direction \_\_\_\_\_ Street Name Rotary Street Type Drive Suffix Direction \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Avenue  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007100 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 10  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410727 Northing 3099766  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, garage conversion  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) MG INVESTMENTS AND SERVICES INC (2018), DARRELL COKER (1996)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. Vertical plank 3. \_\_\_\_\_  
 Roof Type(s) 1. Cross-gabled 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual, aluminum, 1/1; awning, individual, aluminum, 2- and 3-stacked  
 Distinguishing Architectural Features (exterior or interior ornaments) concrete sill, gable end vent, vertical plank on gable end, brick veneer shutters, recessed entry  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through single panel door recessed beneath the principal gable roof

Porch Descriptions (types, locations, roof types, etc.) W/ENTRANCE: open, partial-width, beneath the principal gable roof

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource The building has a cross-gable roof with an attached garage beneath the principal roof that has been converted into living space.

Archaeological Remains \_\_\_\_\_ ☐Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps  
☐FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps  
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)  
☐cultural resource survey (CRAS) ☐historic photos ☐interior inspection ☐HABS/HAER record search  
☒other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing east

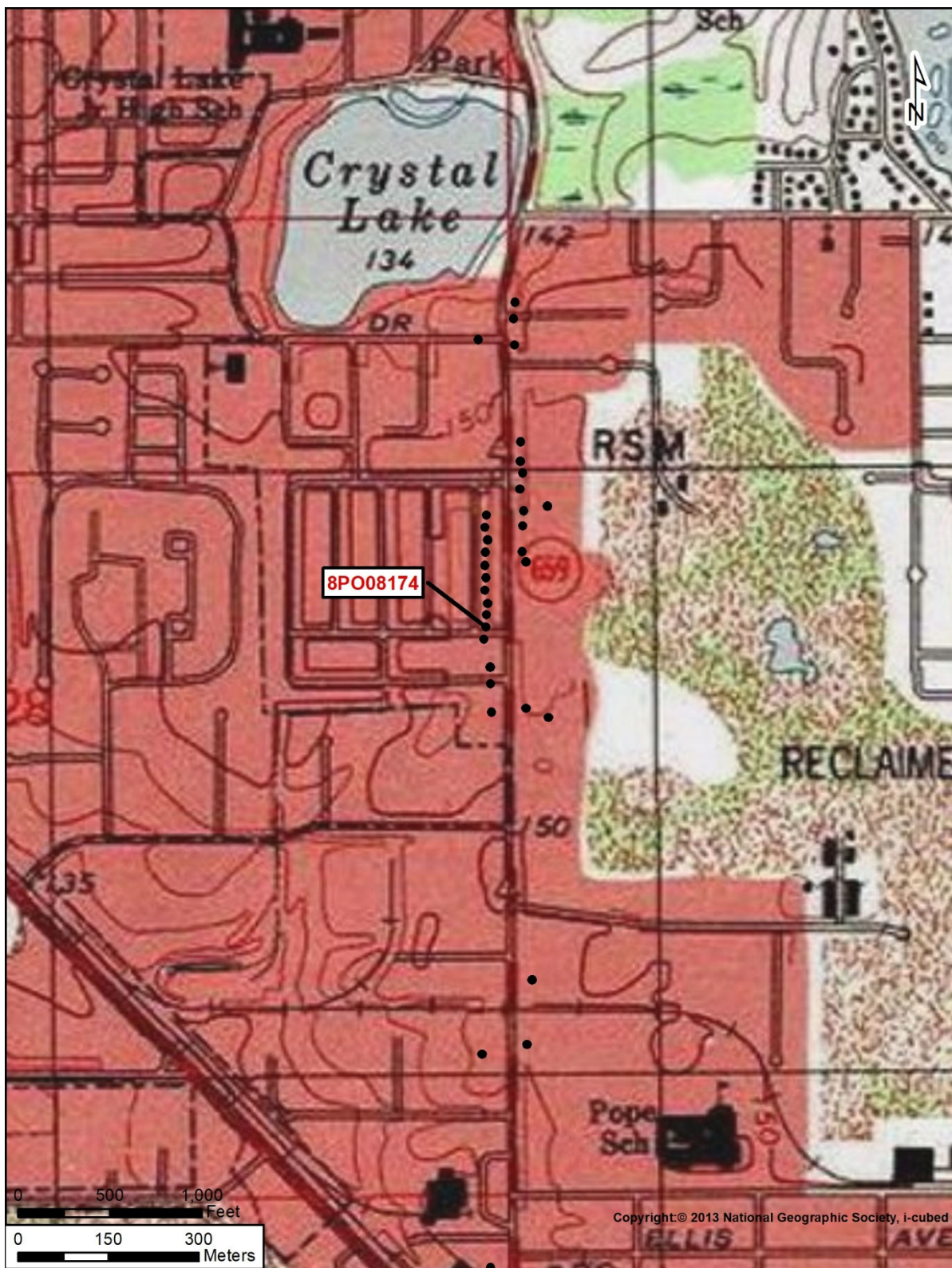
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28





☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08175**  
 Field Date 2-14-2019  
 Form Date 3-15-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1822 ROTARY DRIVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1822 Direction \_\_\_\_\_ Street Name Rotary Street Type Drive Suffix Direction \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Avenue  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007090 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 9  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410728 Northing 3099787  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows, garage conversion  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) KRISTY MCKINNEY (2015), DOROTHY SUE DICKENSON

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. Flat 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. Built-up 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) DHS, individual, aluminum, 1/1; awning, individual, aluminum, 2- and 3-stacked  
 Distinguishing Architectural Features (exterior or interior ornaments) concrete sill, gable end vent, vertical plank on gable end, artbrick beneath window

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through single panel door beneath a flat roof

Porch Descriptions (types, locations, roof types, etc.) W/ENTRANCE: open, partial-width, beneath a flat roof

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource The building has a side gable roof with a carport beneath a flat roof that has been converted into living space. The building has artbrick beneath the windows on the facade.

Archaeological Remains \_\_\_\_\_ ☐Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps  
☐FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps  
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)  
☐cultural resource survey (CRAS) ☐historic photos ☐interior inspection ☐HABS/HAER record search  
☒other methods (describe) USDA historic aerial photographs (Accessible through PALMM)  
 Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.  
 Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)  
 1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



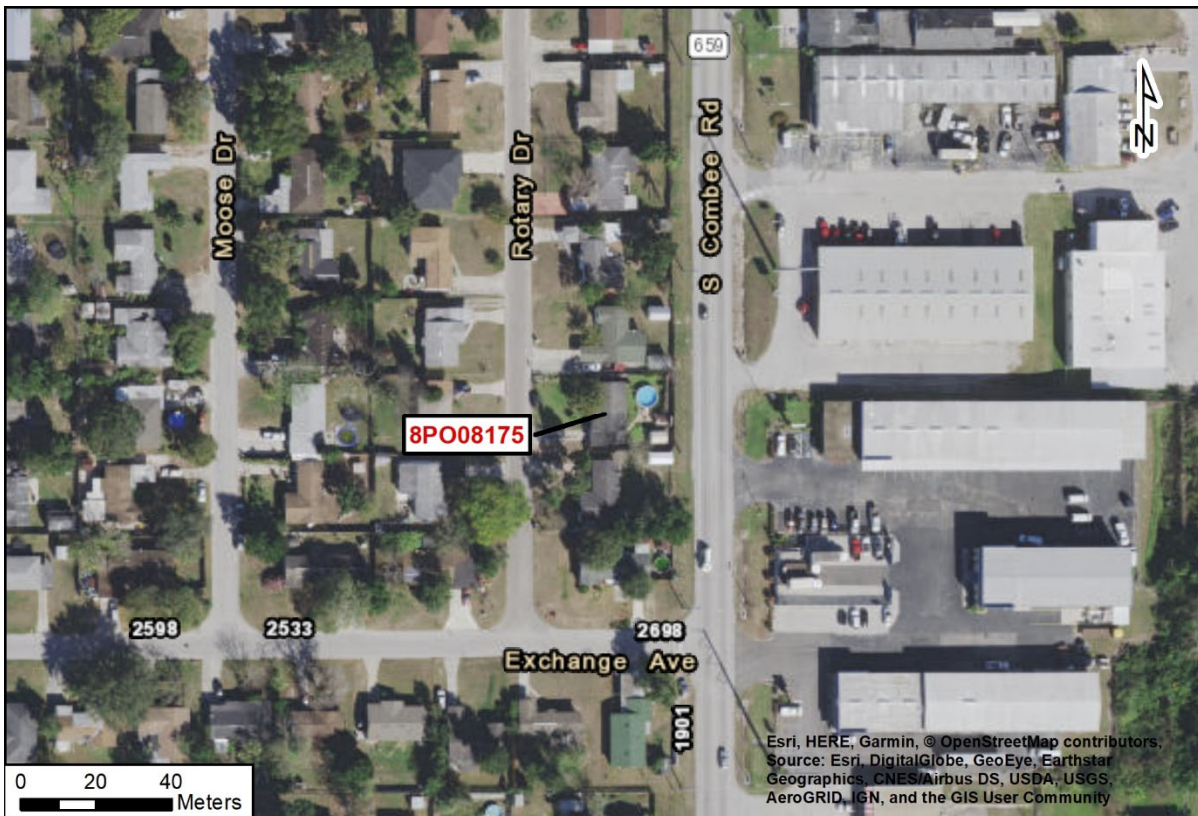


**PHOTOGRAPH**



Facing east

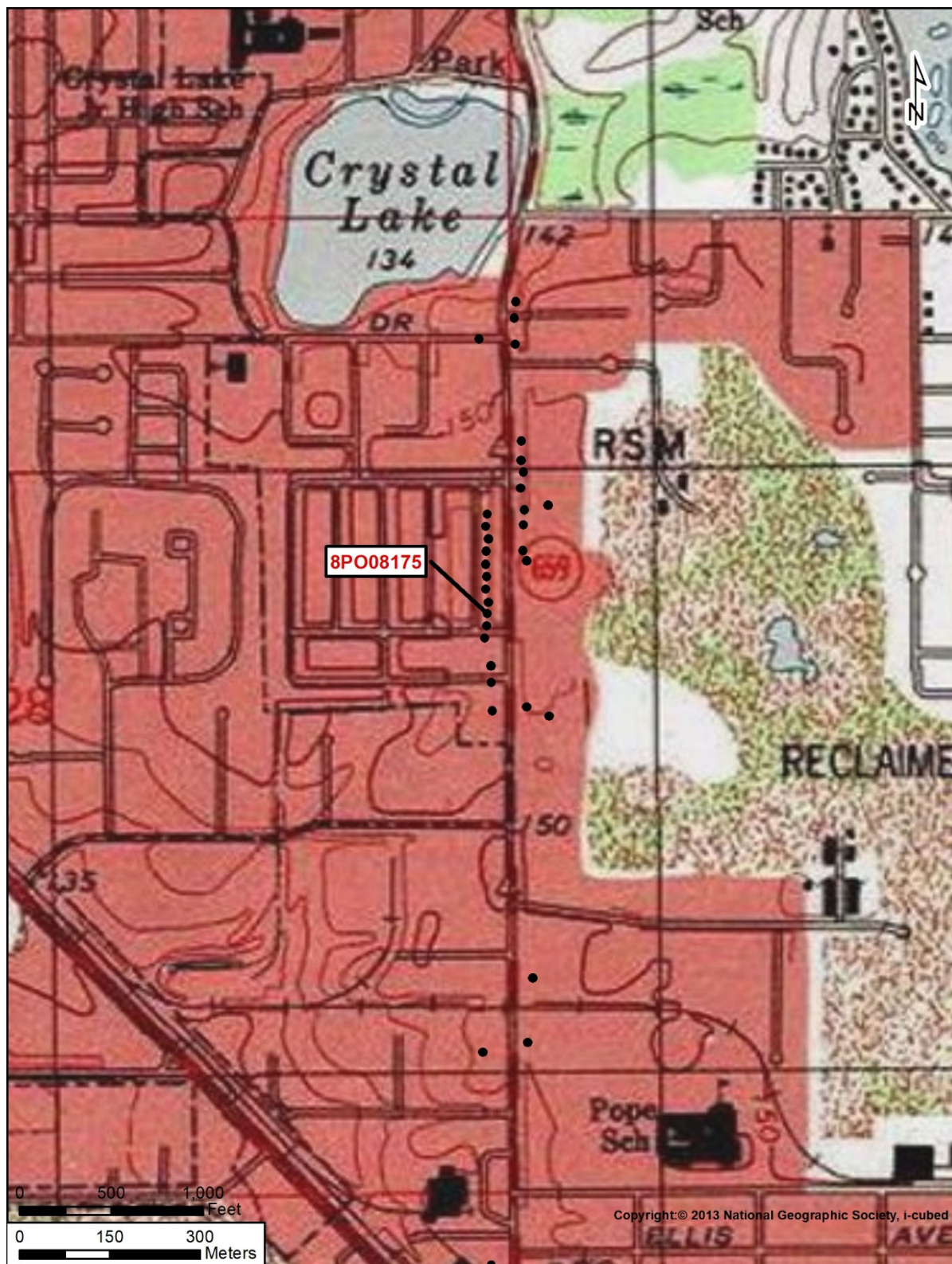
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **PO08176**  
 Field Date 2-14-2019  
 Form Date 3-15-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1816 ROTARY DRIVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

## LOCATION & MAPPING

Street Number 1816 Direction \_\_\_\_\_ Street Name Rotary Street Type Drive Suffix Direction \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Avenue  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007080 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 8  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410730 Northing 3099805  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

## HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows & siding  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature E & W elevations  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) CYNTHIA CARROLL (2017), DARRELL HAMLIN (2003)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

## DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Stucco 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual, 1/1; fixed

Distinguishing Architectural Features (exterior or interior ornaments) concrete sill, gable end vent, vertical plank on gable end

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) two non-historic sheds

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through single panel door with an oval window beneath a pent shed roof

Porch Descriptions (types, locations, roof types, etc.) W/ENTRANCE: open, partial-width, within the carport beneath a gable roof

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource The building has a side gable roof with an attached carport beneath a gable roof. The building is a typical example of a Minimal Ranch style residence with alterations and additions found throughout Polk County.

Archaeological Remains \_\_\_\_\_ ☐Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps  
☐FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps  
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)  
☐cultural resource survey (CRAS) ☐historic photos ☐interior inspection ☐HABS/HAER record search  
☒other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**

Facing east

**AERIAL MAP**





USGS Lakeland  
Township 28 South, Range 24 East, Section 28



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08177**  
 Field Date 2-14-2019  
 Form Date 3-15-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1810 ROTARY DRIVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1810 Direction \_\_\_\_\_ Street Name Rotary Street Type Drive Suffix Direction \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Avenue  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007070 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 7  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410726 Northing 3099827  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows & siding  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature E elevation & carport  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) JERRY L DUNNING JR (2017), BEVERLY B MCDANIEL (2000), ADELIA GILBERT HURST (1999), EVERETTE F GILBERT  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Aluminum 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Cross-gabled 2. Flat 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual & paired, 1/1; awning, individual & paired, aluminum, 3-stacked  
 Distinguishing Architectural Features (exterior or interior ornaments) wood frame sills, gable end vent, vertical plank on gable end, clamshell awnings  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) A non-historic shed clad in stucco

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Wood frame 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through single screen door beneath a pent gable roof

Porch Descriptions (types, locations, roof types, etc.) E elev: enclosed, partial-width beneath a flat roof

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a cross-gable roof with an attached carport beneath a flat roof. The building is a typical example of a Minimal Ranch style residence with alterations and additions found throughout Polk County.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing east

**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28







# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **PO08178**  
 Field Date 2-14-2019  
 Form Date 3-15-2019  
 Recorder # \_\_\_\_\_

☒ Original  
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1804 ROTARY DRIVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1804 Direction \_\_\_\_\_ Street Name Rotary Street Type Drive Suffix Direction \_\_\_\_\_  
 Address: 1804 Rotary Drive  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Avenue  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007060 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 6  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410728 Northing 3099848  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows, enclosed carport  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature E elevation & carport  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) OC HOLDINGS AND TRUST LLC (2013), ARMANDO CABRERA (2003)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Hip 2. Flat 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual, 1/1, 2/2, 6/6; fixed

Distinguishing Architectural Features (exterior or interior ornaments) masonry sills, recessed entry, concrete block chimney

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____

## DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Concrete block 2. \_\_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_\_  
 Main Entrance (stylistic details) W elev: through single panel door with an oval window recessed beneath the principal hip roof  
 Porch Descriptions (types, locations, roof types, etc.) E elev: open, partial-width beneath a flat roof

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a hip roof with an attached carport beneath a flat roof. A concrete block chimney is located on the west elevation eave wall.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





**PHOTOGRAPH**



Facing east

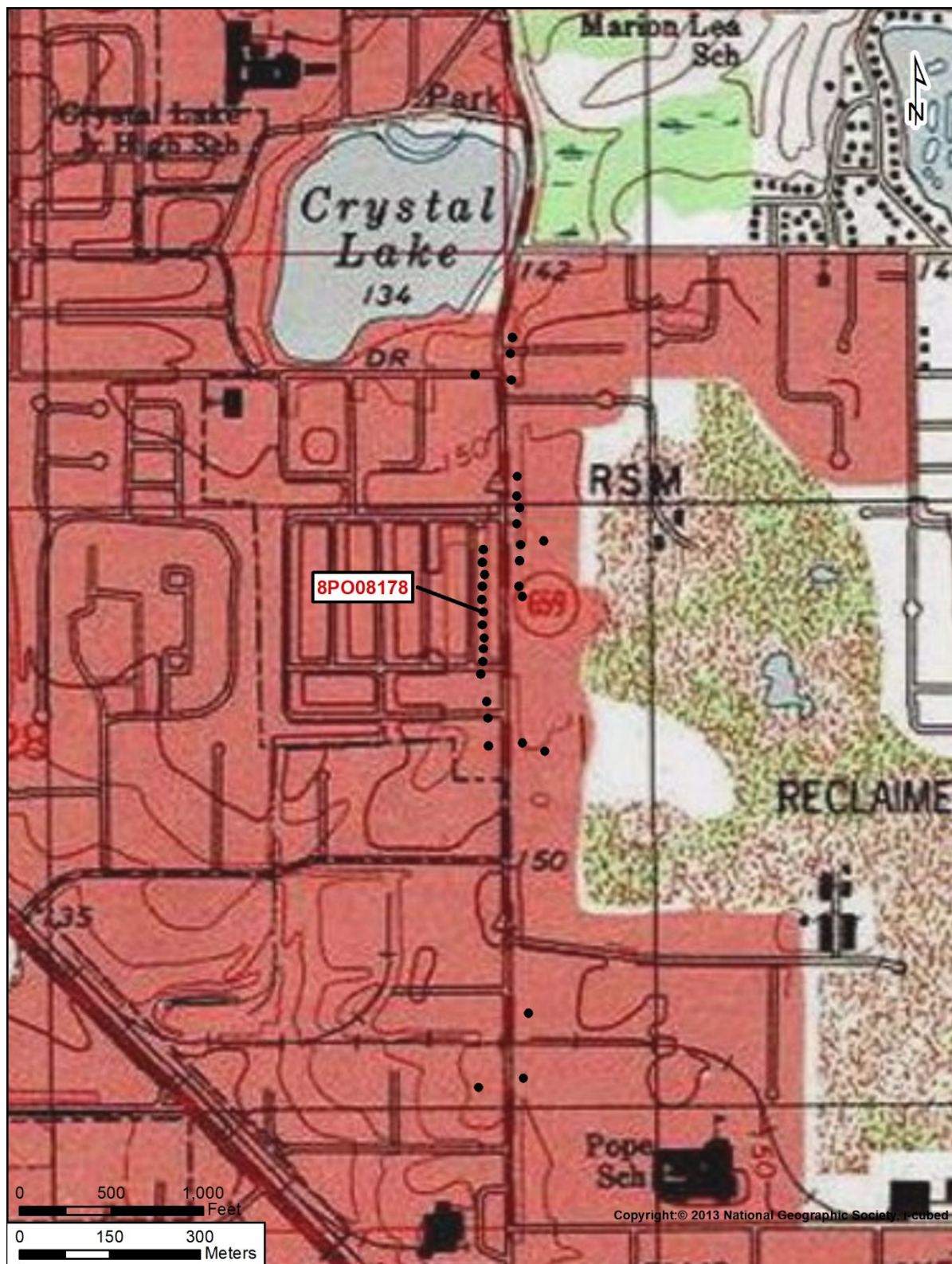
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28





# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **P008179**  
 Field Date 2-14-2019  
 Form Date 3-15-2019  
 Recorder # \_\_\_\_\_

☒ Original  
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1734 ROTARY DRIVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

## LOCATION & MAPPING

Address: 1734 Rotary Drive Polk  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Avenue  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007050 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 5  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410726 Northing 3099869  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

## HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows  
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-1995 Nature E elevation screen porch  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) \_\_\_\_\_

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

## DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Cross-gabled 2. Shed 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual, vinyl, 1/1

Distinguishing Architectural Features (exterior or interior ornaments) masonry sills, brick veneer shutters, horizontal plank on gable ends

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_

Main Entrance (stylistic details) W elev: through single panel door beneath the principal gable roof overhang

Porch Descriptions (types, locations, roof types, etc.) E elev: open, partial-width beneath a shed roof

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a cross-gable roof with an attached garage beneath the principal roof. The building is a typical example of a Minimal Ranch style residence with alterations and additions found throughout Polk County.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

- |  |   |   |  |
|--|---|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection            | <input type="checkbox"/> city directory   | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records   | <input type="checkbox"/> newspaper files  | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input type="checkbox"/> cultural resource survey (CRAS)               | <input type="checkbox"/> historic photos  | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
- ☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
  - ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
  - ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
- If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





**PHOTOGRAPH**



Facing east

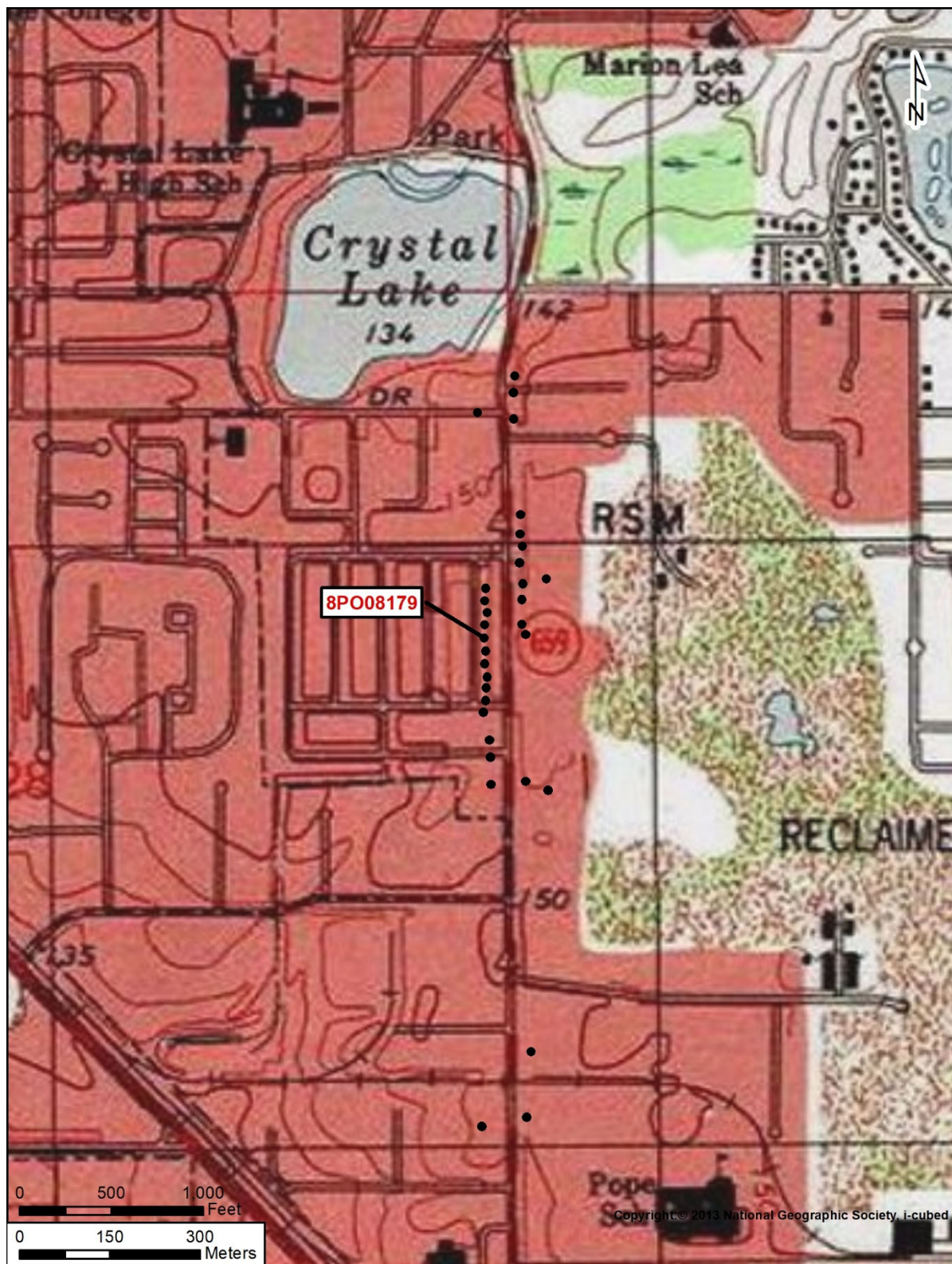
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28





# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08180**  
 Field Date 2-14-2019  
 Form Date 3-15-2019  
 Recorder # \_\_\_\_\_

☒ Original  
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1730 ROTARY DRIVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1730 Direction \_\_\_\_\_ Street Name Rotary Street Type Drive Suffix Direction \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Avenue  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007040 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 4  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410727 Northing 3099891  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows  
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-2005 Nature carport  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) \_\_\_\_\_

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual, vinyl, 1/1; fixed, grouped (3)  
 Distinguishing Architectural Features (exterior or interior ornaments) masonry sills, artbrick beneath windows, vinyl siding on gable ends, gable end vents  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) non-historic shed

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through single panel door with an oval window recessed beneath the principal gable roof  
 Porch Descriptions (types, locations, roof types, etc.) W/ENTRANCE: open, partial-width beneath the principal gable roof

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a side gable roof and a carport addition with a flat roof on the south elevation. Building has artbrick beneath the windows on the front facade.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
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**PHOTOGRAPH**



Facing east

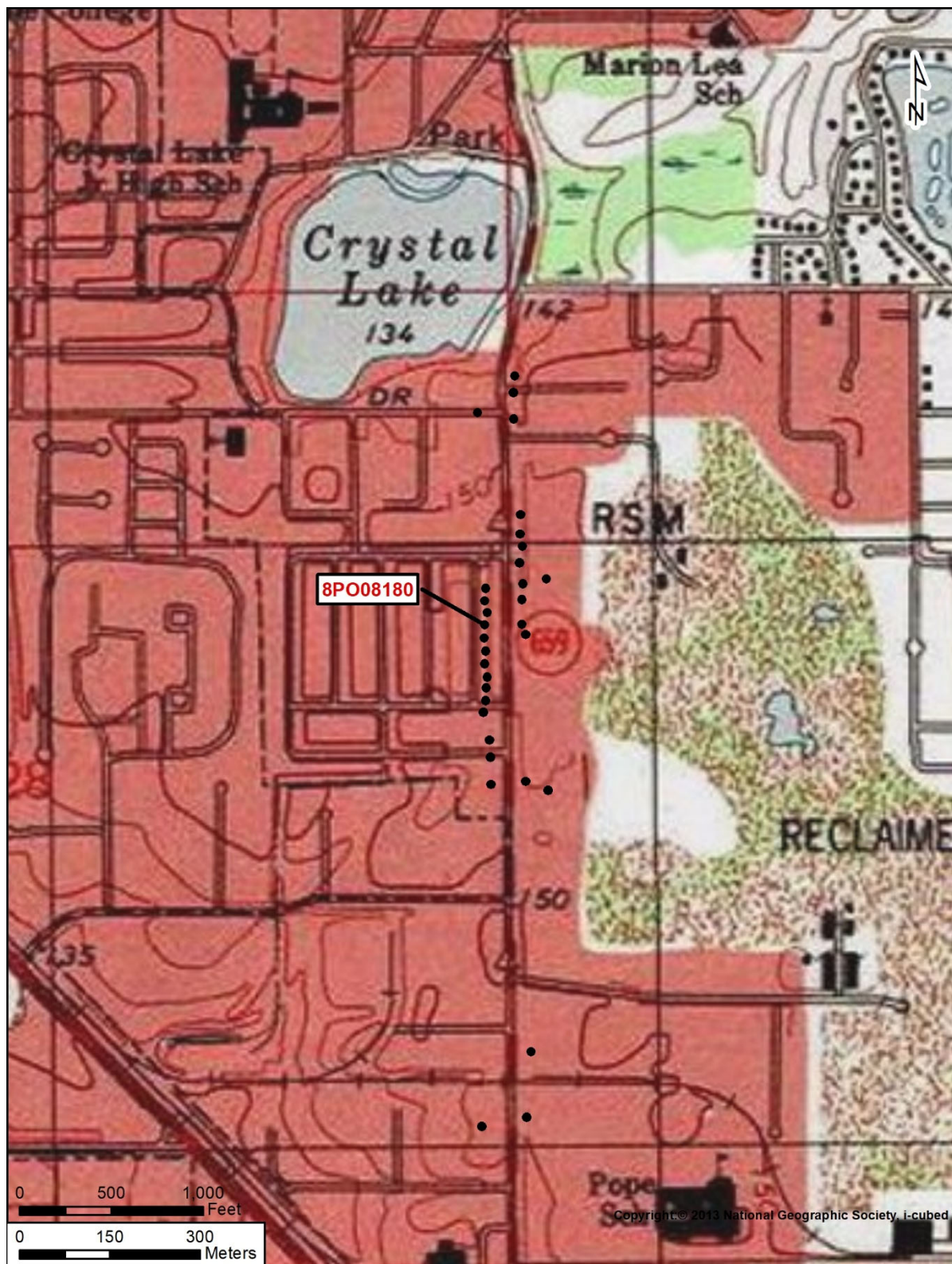
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28





☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08181**  
 Field Date 2-14-2019  
 Form Date 3-15-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1724 ROTARY DRIVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1724 Direction \_\_\_\_\_ Street Name Rotary Street Type Drive Suffix Direction \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Avenue  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007030 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 3  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410731 Northing 3099911  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature east elevation  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) ANGEL D VILLEGAS (2018), D & D FAMILY PROPERTIES LLC (2005), KENNETH T STEVENS (2002)  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. Shed 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual, vinyl, 1/1  
 Distinguishing Architectural Features (exterior or interior ornaments) masonry sills, artbrick beneath windows, vertical plank on gable ends, gable end vents  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) non-historic shed

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through single panel door beneath the gable roof overhang

Porch Descriptions (types, locations, roof types, etc.) E elev: enclosed, partial-width beneath a shed roof

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a side gable roof with a shed roof addition on the east elevation. Building has artbrick beneath the windows and vertical plank siding on the gable ends.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





**PHOTOGRAPH**



Facing east

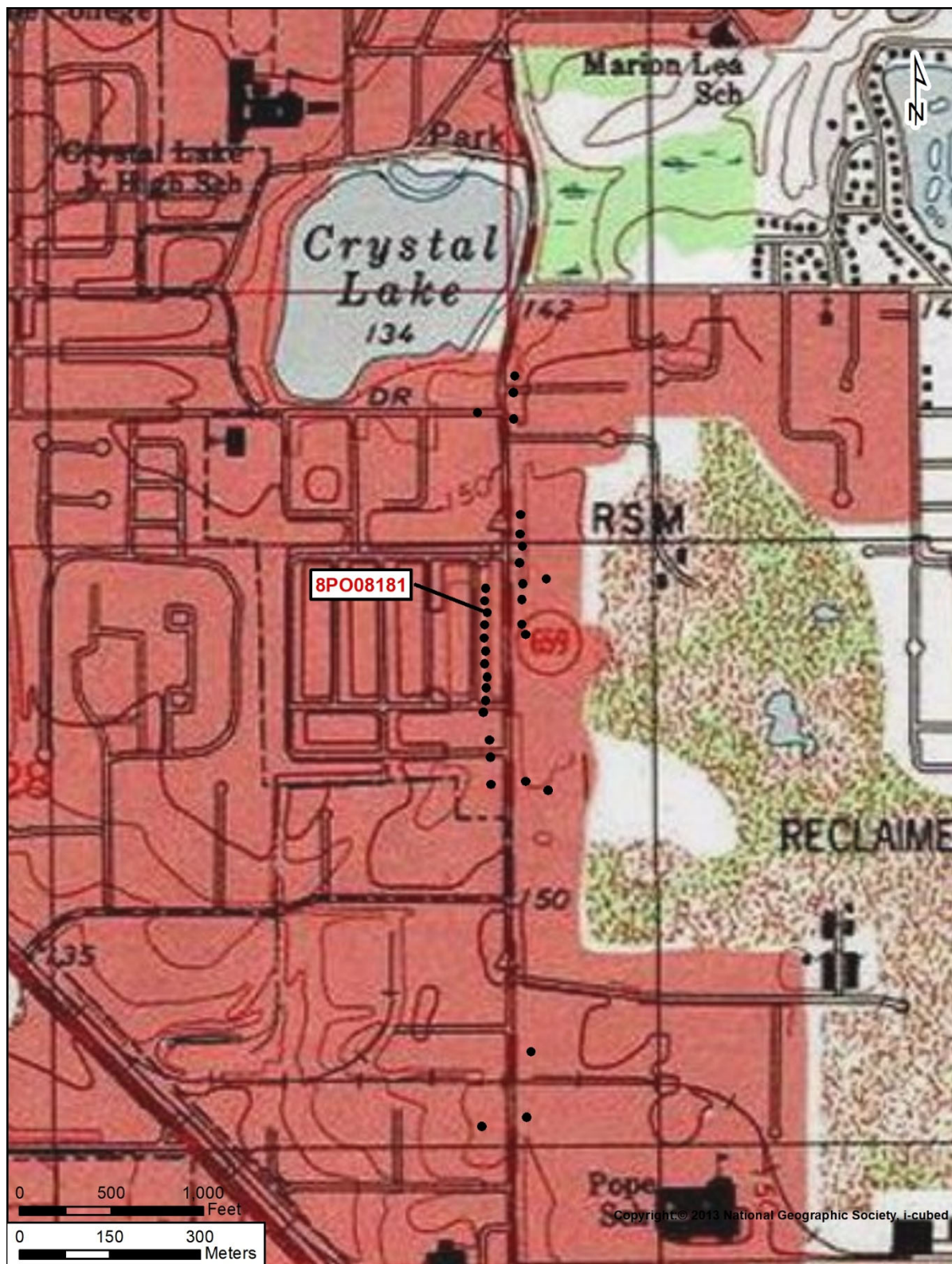
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08182**  
 Field Date 2-14-2019  
 Form Date 3-15-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1718 ROTARY DRIVE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1718 Direction \_\_\_\_\_ Street Name Rotary Street Type Drive Suffix Direction \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Avenue  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007020 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 2  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410727 Northing 3099931  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows, carport conversion  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature east elevation  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) CALVIN E CROOKS (2001)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Cross-gabled 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. Shed extension 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual & paired, 6/6  
 Distinguishing Architectural Features (exterior or interior ornaments) masonry sills, partial clad artbrick siding, vertical plank on gable ends, gable end vents

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) two non-historic sheds

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through single panel door with fanlight within screened in porch beneath a shed roof extension  
 Porch Descriptions (types, locations, roof types, etc.) W/ENTRANCE: open, partial-width beneath a shed roof extension

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource Building is partially clad with artbrick. The carport beneath the principal roof was converted into a screened in porch.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





**PHOTOGRAPH**



Facing east

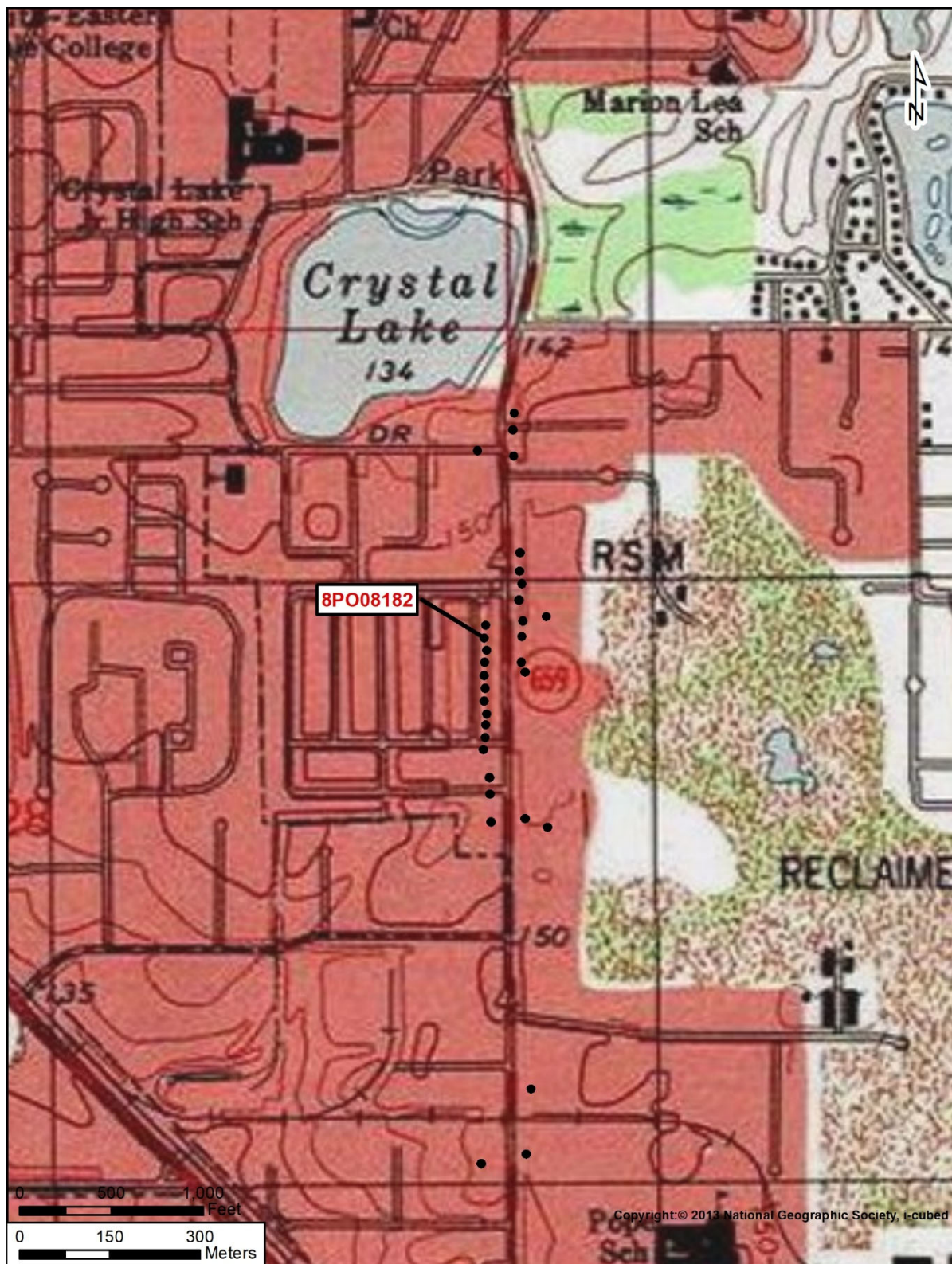
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08183**  
 Field Date 2-14-2019  
 Form Date 3-15-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 2625 KIWANIS AVENUE Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 2625 Direction \_\_\_\_\_ Street Name Kiwanis Street Type Avenue Suffix Direction \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Avenue  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 43 PG 12  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-245700-007010 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL OAK MANOR Block G Lot 1  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410729 Northing 3099952  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, carport conversion  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature south elevation utility room  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) TAMEKA RUSSELL (2015), EUNICE UCYNTHIA RUSSELL (1986)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Cross-gabled 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. Shed extension 2. \_\_\_\_\_  
 Windows (types, materials, etc.) awning, individual & paired, aluminum, 3- and 4-stacked  
 Distinguishing Architectural Features (exterior or interior ornaments) masonry sills, artbrick shutters, vertical plank on gable ends, gable end vents, security grill, column porch supports  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) non-historic shed

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) N elev: through single panel door with fanlight recessed beneath a shed roof extension  
 Porch Descriptions (types, locations, roof types, etc.) N/ENTRANCE: open, partial-width beneath a shed roof extension with three column porch supports  
 Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous  
 Narrative Description of Resource The carport beneath the principal roof was converted into a living area. Security grills have been placed over all the windows and doors.  
 Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)  
 Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.  
 Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)  
 1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing south

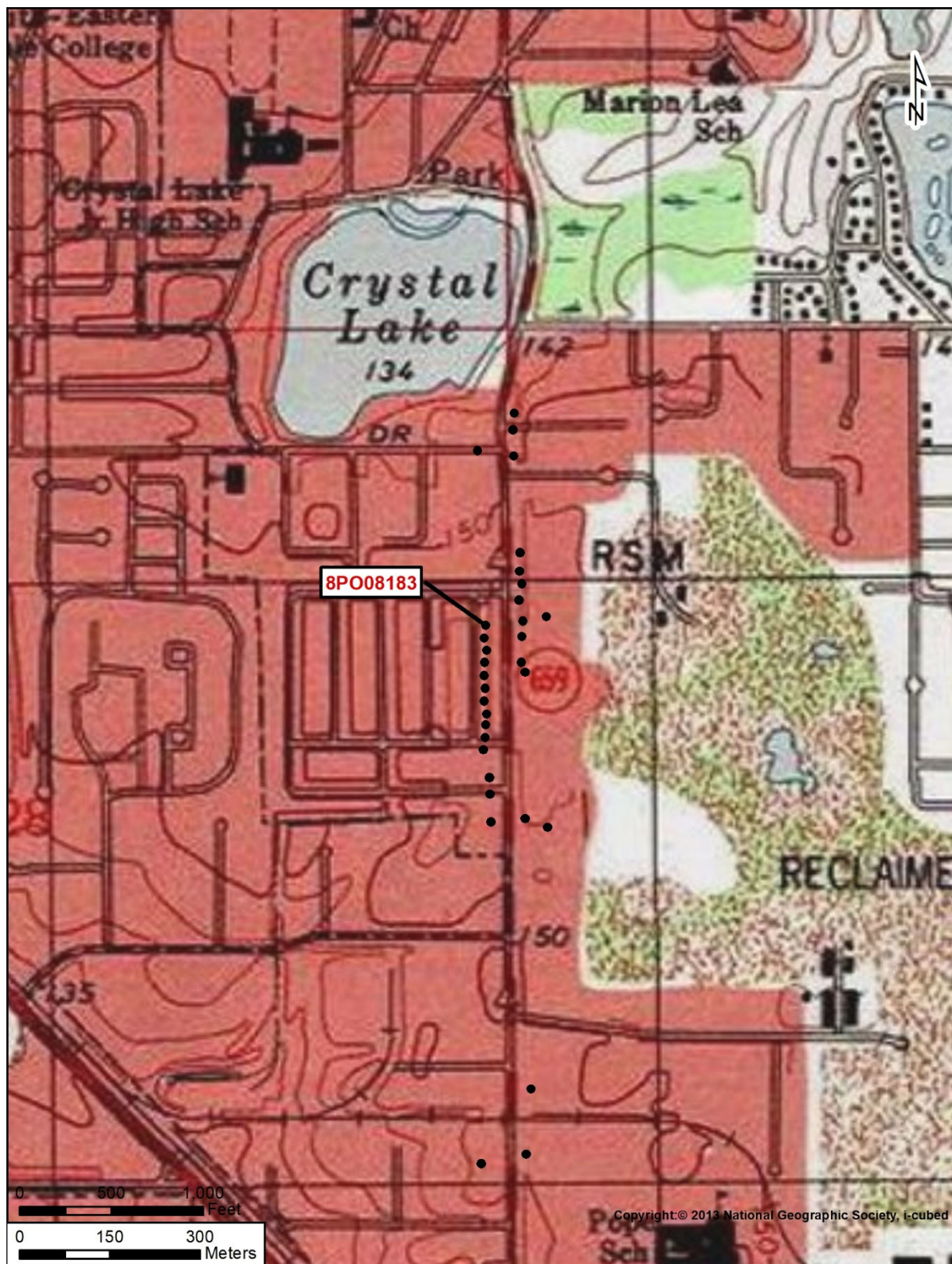
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 28







# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **P008184**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

☒ Original  
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1802 State Road 33 Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1802 Direction \_\_\_\_\_ Street Name State Road 33 Street Type Road Suffix Direction \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Cross Streets (nearest / between) Between Exchange Ave & Kiwanis Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-034010 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410794 Northing 3099874  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1969 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Store From (year): 1969 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature S & E elevations  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) PAUL D OWENS (2006), MAJOR C STOVER (2001), PAUL RAYMOND ROMESBURG (1991)  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Industrial Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Metal 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Sheet metal:3V crimp 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) fixed  
 Distinguishing Architectural Features (exterior or interior ornaments) steel skeleton, artbrick, metal siding, louvered vents, roof ridge vents  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Steel skeleton 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) S elev: through a single full-view metal frame glass door

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The Industrial Vernacular style building is partially clad in brick veneer and standing seam metal. The building has two steel frame additions; in 1971 on the south elevation and in 1978 on the east elevation.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing east

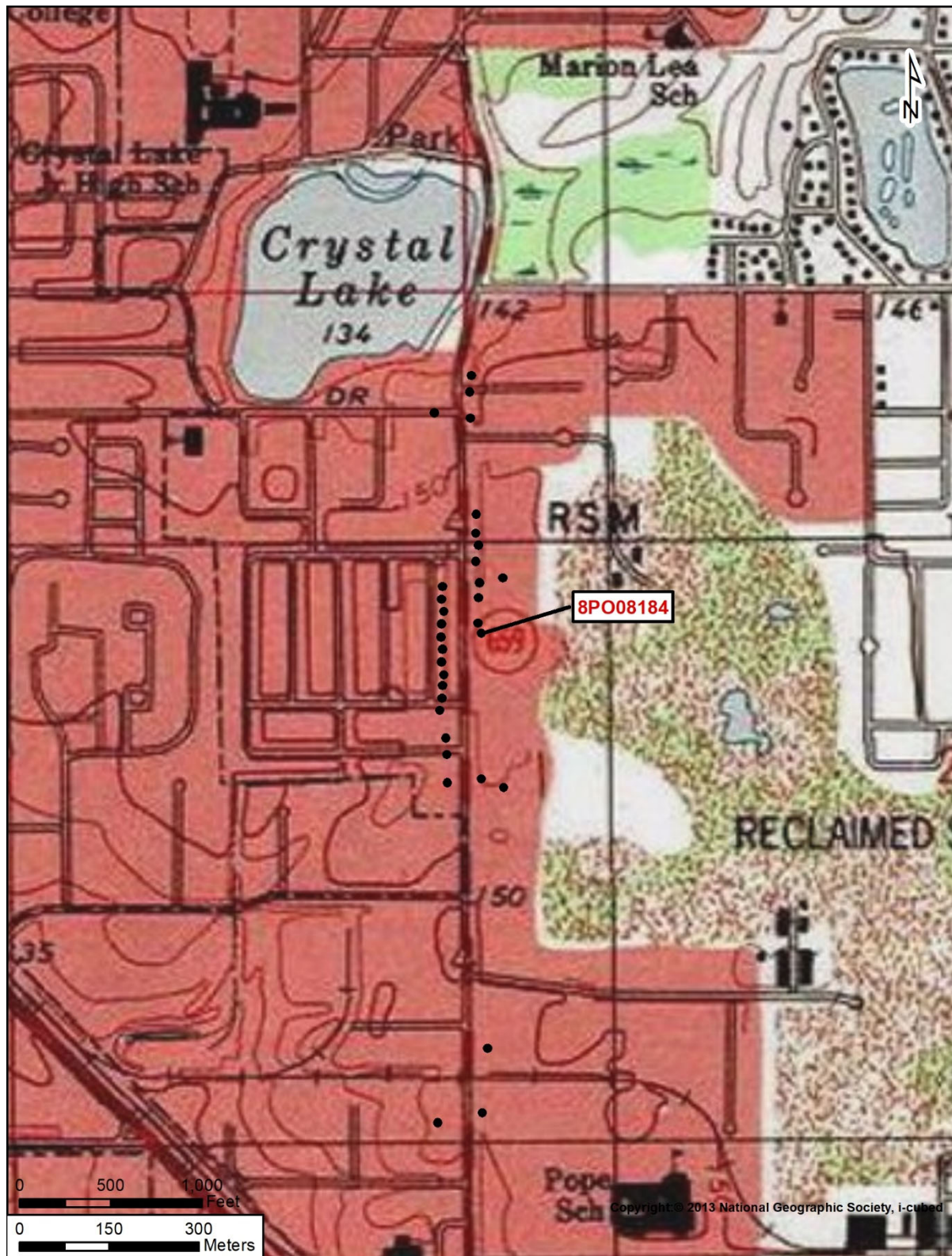
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27





# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008185**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

☒ Original  
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1718 COMBEE ROAD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1718 Direction \_\_\_\_\_ Street Name Combee Street Type Road Suffix Direction S  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-034025 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410788 Northing 3099891  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1969 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Dentist/Medical/Professional office From (year): 1969 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, new windows  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature E elevation  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) MACLAN CORPORATION INC (2016), WTEC PROPERTIES LLC (2004)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Frame Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Horizontal plank 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Cross-gabled 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual, 1/1, 4/4

Distinguishing Architectural Features (exterior or interior ornaments) octagonal vent, incised porch, shutters

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) 1973 masonry office building

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Wood frame 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through two single panel doors with 9-lite within an incised porch

Porch Descriptions (types, locations, roof types, etc.) W/ENTRANCE: incised, full-width

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The Frame Vernacular style building has a gable roof addition that connects to two 1969 masonry buildings on the east elevation. One addition has a flat roof and another with a gable roof and roller bay doors.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





**PHOTOGRAPH**



Facing southeast

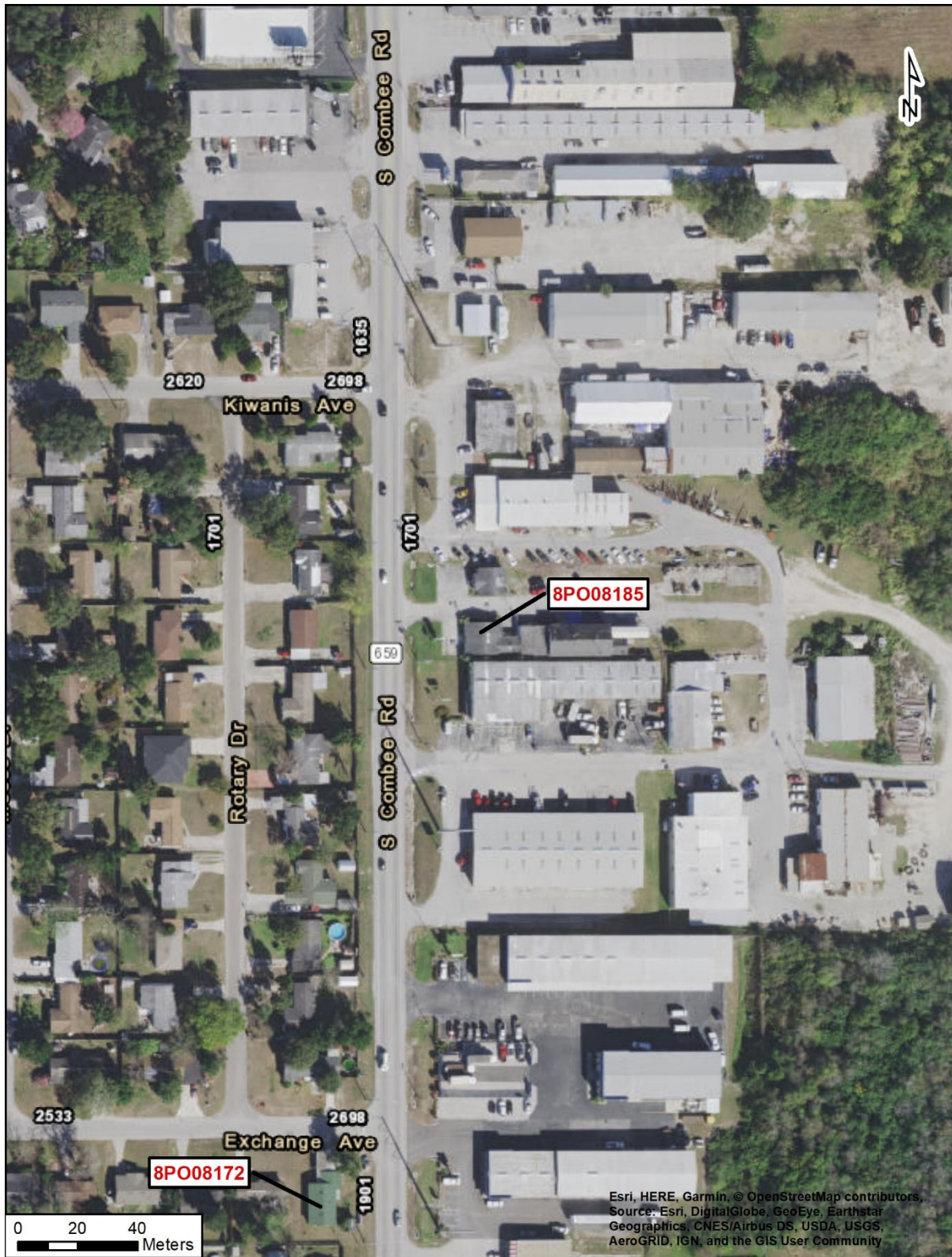


Facing southeast





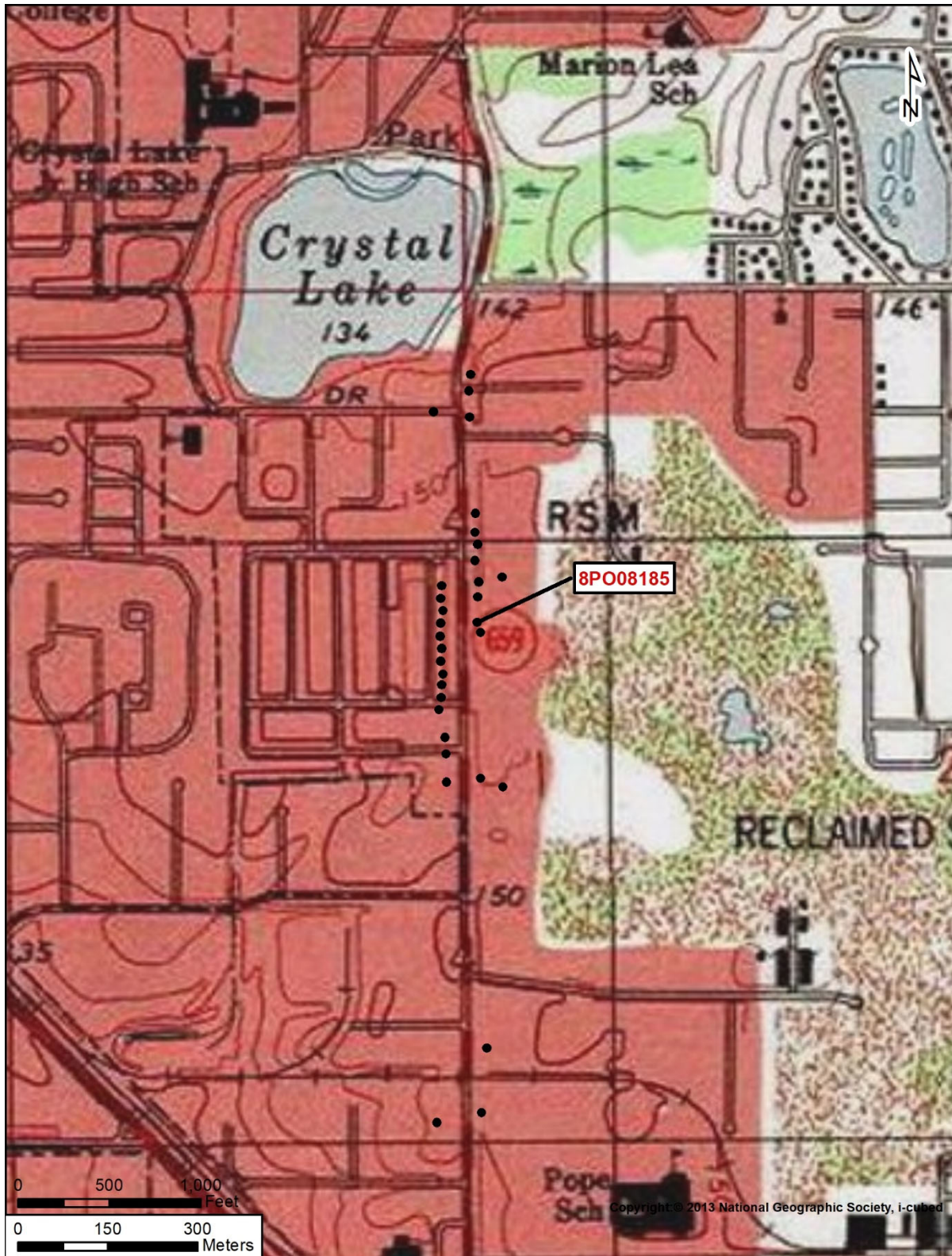
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27







# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **PO08186**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

☒ Original  
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1716 COMBEE ROAD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1716 Direction \_\_\_\_\_ Street Name Combee Street Type Road Suffix Direction S  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-034007 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410789 Northing 3099933  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1969 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Dentist/Medical/Professional office From (year): 1969 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature E elevation  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) \_\_\_\_\_

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Industrial Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Metal 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Sheet metal:5V crimp 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) full-view metal frame fixed units  
 Distinguishing Architectural Features (exterior or interior ornaments) steel skeleton, artbrick, metal siding, louvered vents, roof ridge vents  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) brick planter

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Steel skeleton 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_

Main Entrance (stylistic details) W elev: through a single full-view metal frame glass door beneath a roof overhang

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource The Industrial Vernacular style building is partially clad in brick veneer and standing seam metal. The building is constructed of an office fronting Combee Road and a storage warehouse in the rear.

Archaeological Remains \_\_\_\_\_ ☐Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

- |   |   |   |  |
|---|---|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)  | <input type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection   | <input type="checkbox"/> city directory   | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records  | <input type="checkbox"/> newspaper files  | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)   | <input type="checkbox"/> historic photos  | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>USDA historic aerial photographs (Accessible through PALMM)</u> |   |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
  - ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
  - ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
- If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing east



Facing northeast





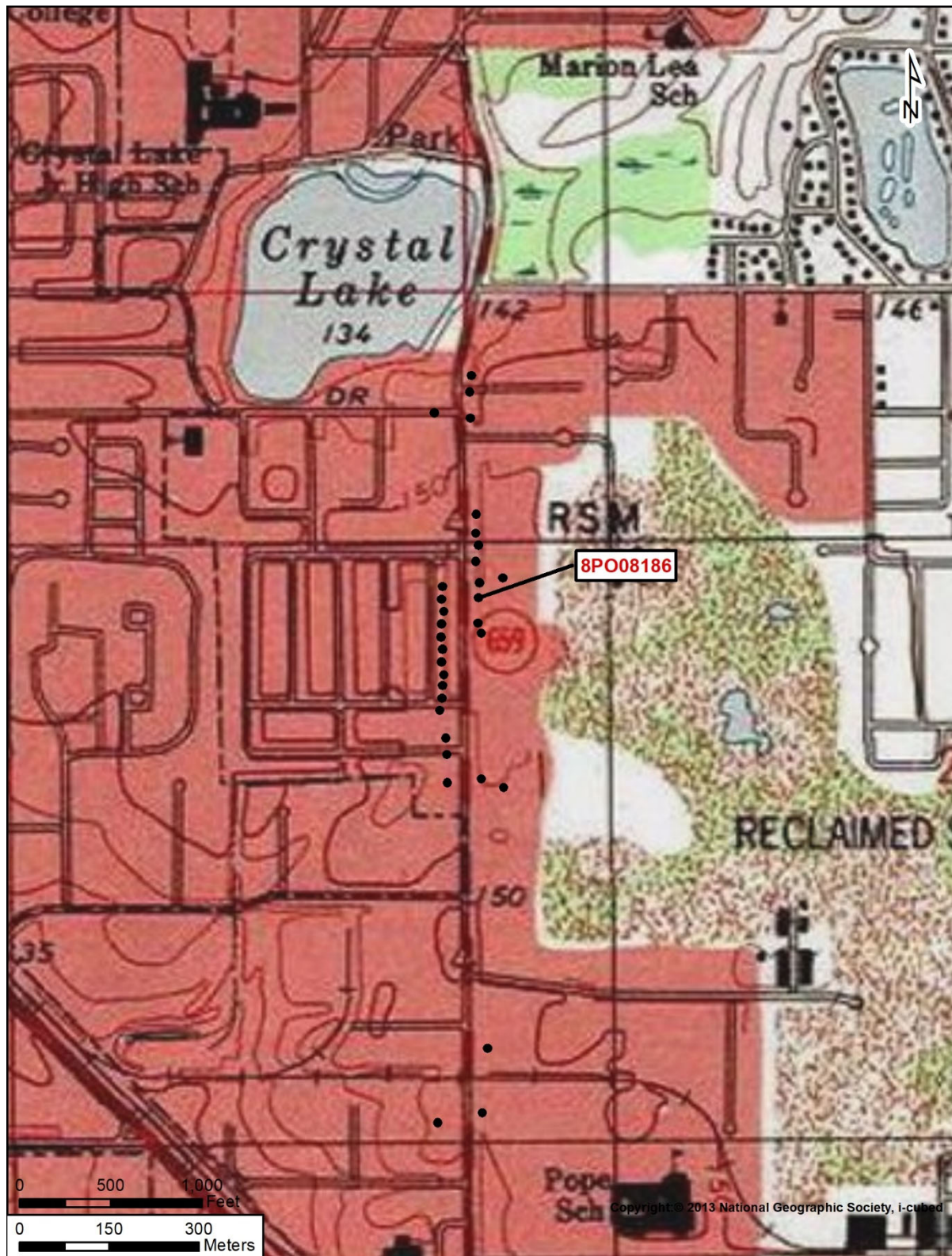
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008187**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1710 COMBEE ROAD S (bldg 1) Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 1710 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) Between Exchange Ave & Kiwanis Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-034024 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410791 Northing 3099959  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1967 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Store From (year): 1967 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, fenestration changes  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) JASON CLEMENT (2017), RAYMOND STEWART CLEMENT (2004)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Flat 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Built-up 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) jalousie, paired, 6-stacked  
 Distinguishing Architectural Features (exterior or interior ornaments) artbrick facade, cantilevered flat roof, security grill

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) A 1967 storage warehouse  
(8P008188)

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	Init.		
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through a single full-view metal frame glass door with filled in sidelight, beneath a cantilevered flat roof  
 Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource The Masonry Vernacular style building is clad in brick veneer on the facade. Several windows and doors have been filled in and are no longer operable.

Archaeological Remains \_\_\_\_\_ ☐Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps  
☐FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps  
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)  
☒cultural resource survey (CRAS) ☐historic photos ☐interior inspection ☐HABS/HAER record search  
☒other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing east

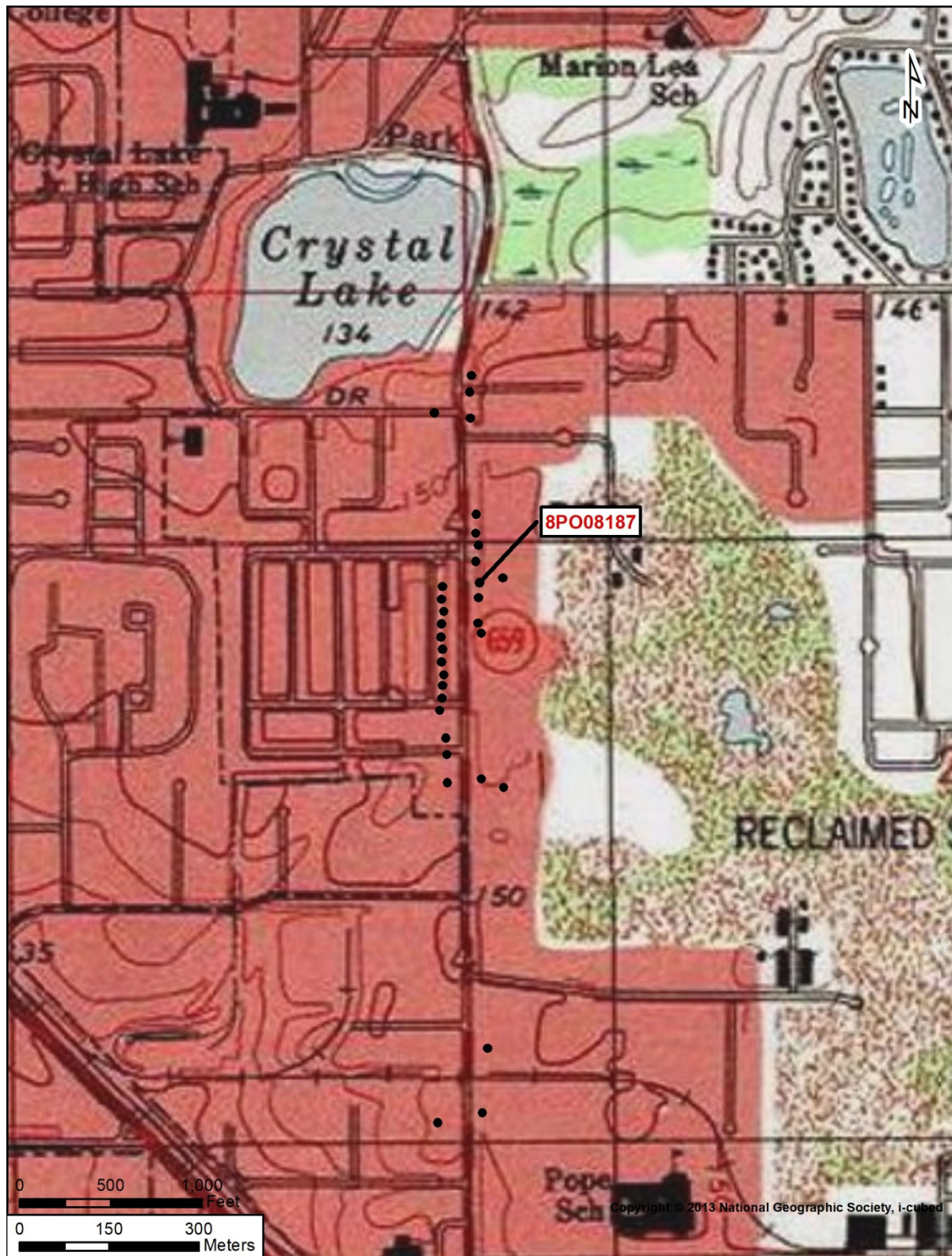
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27





☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **P008188**  
 Field Date 2-14-2019  
 Form Date 3-13-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1710 COMBEE ROAD S (bldg 2) Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1710 Direction \_\_\_\_\_ Street Name Combee Street Type Road Suffix Direction S  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Exchange Ave & Kiwanis Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-034024 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410830 Northing 3099966  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1967 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Storage building From (year): 1967 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature E & S elevations  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) JASON CLEMENT (2017), RAYMOND STEWART CLEMENT (2004)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Industrial Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. Metal 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Sheet metal:3V crimp 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) \_\_\_\_\_

Distinguishing Architectural Features (exterior or interior ornaments) mixed concrete block and steel frame structural system, roller bay doors

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) A 1967 masonry office building (8P008187)

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
<input type="checkbox"/> Owner Objection	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. Steel skeleton 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through a single roller bay door

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The Industrial Vernacular style building has mixed concrete block and steel frame structural system. Building has received multiple additions between 1967 and 1980 that form a U-shape footprint.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing southeast

**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **P008189**  
 Field Date 2-14-2019  
 Form Date 3-18-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1704 COMBEE ROAD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

## LOCATION & MAPPING

Address: 1704 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) NE intersection of Combee Rd & Kiwanis Ave  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-034026 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410785 Northing 3099994  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

## HISTORY

Construction Year: 1966 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Office building From (year): 1966 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) COMBEE ROAD SOUTH LAND TRUST (2017), GREENOVATIVE LLC (2016), HCH 1704 LLC (2014)  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

## DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Sheet metal:3V crimp 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual & paired, metal, 1/1 & 2/2  
 Distinguishing Architectural Features (exterior or interior ornaments) mixed concrete block and brick veneer facade, vertical plank on gable ends, gable end vent  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) A 1983 & 1984 steel frame storage warehouses located east of office building

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through a single panel door beneath roof overhang

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has mixed concrete block and brick veneer facade. The building is a typical example of a Masonry Vernacular style office building found in the area and Polk County.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





**PHOTOGRAPH**



Facing east

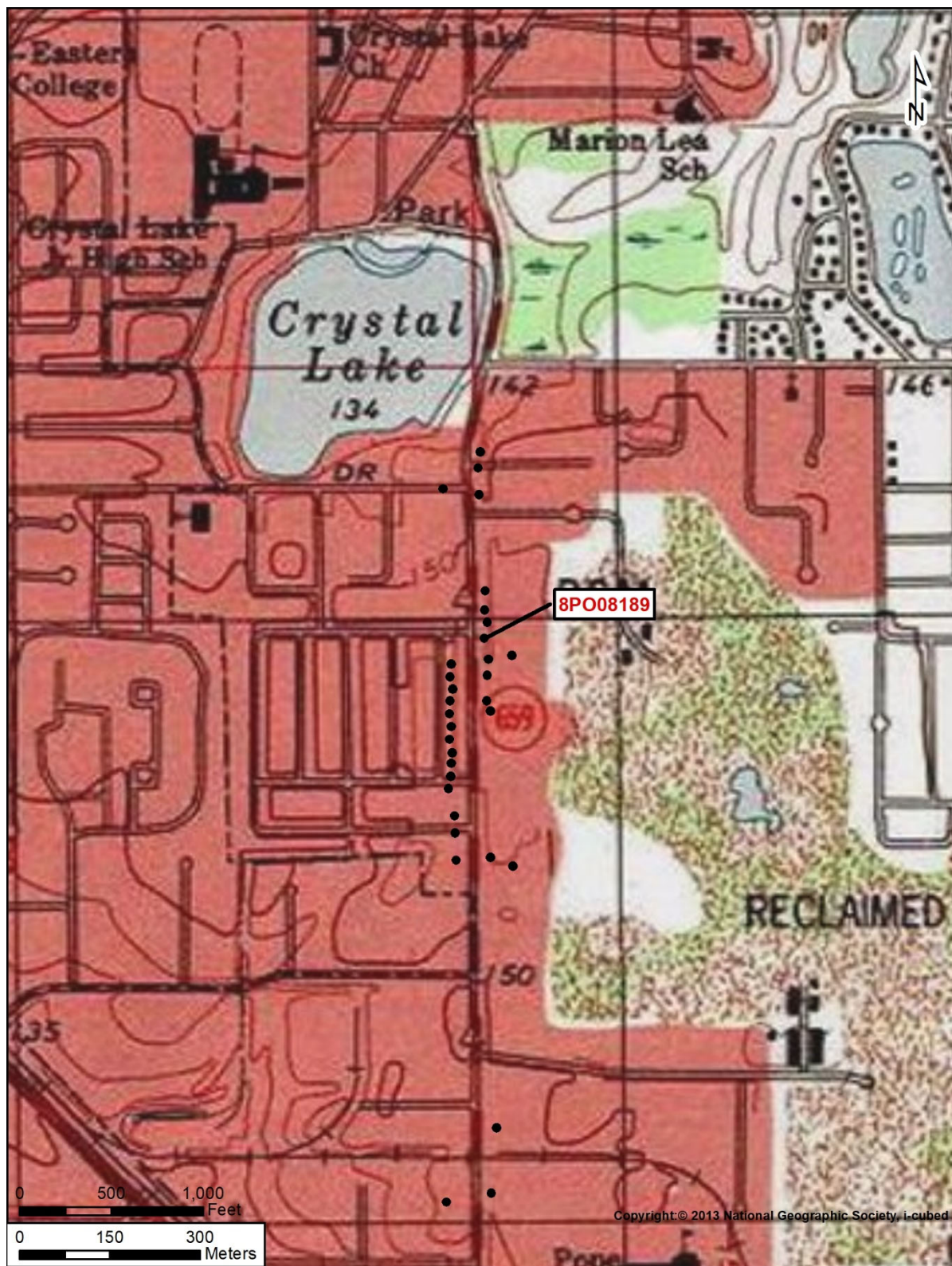
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27





# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

### Version 4.0 1/07

Site #8 **P008190**  
 Field Date 2-14-2019  
 Form Date 3-18-2019  
 Recorder # \_\_\_\_\_

☒ Original  
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1620 COMBEE ROAD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

## LOCATION & MAPPING

Street Number 1620 Direction \_\_\_\_\_ Street Name Combee Street Type Road Suffix Direction S  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Kiwanis Ave & Industrial Park Dr  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-033012 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410790 Northing 3100021  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

## HISTORY

Construction Year: 1965 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Office building From (year): 1965 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, siding, fenestration changes  
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-2006 Nature east elevation, entrance roof  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) STEPHEN RYAN WEBB (2016), LAURA MAE VINCENT (2014), KHALID B NASEER (2012), ROBBY SIMON TILBORG (2009), ROD L VAUGHN  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

## DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Stucco 2. Horizontal plank 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual, 1/1 with security grills  
 Distinguishing Architectural Features (exterior or interior ornaments) concrete sill, vertical plank on gable ends  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through two single wood door beneath shed roof

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a concrete block structural system clad in stucco with vertical plank on the gable ends. An enclosed carport was added to the east elevation in 2006 and a shed roof with square columns was added to the entrance.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
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## RECORDER INFORMATION

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 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing east

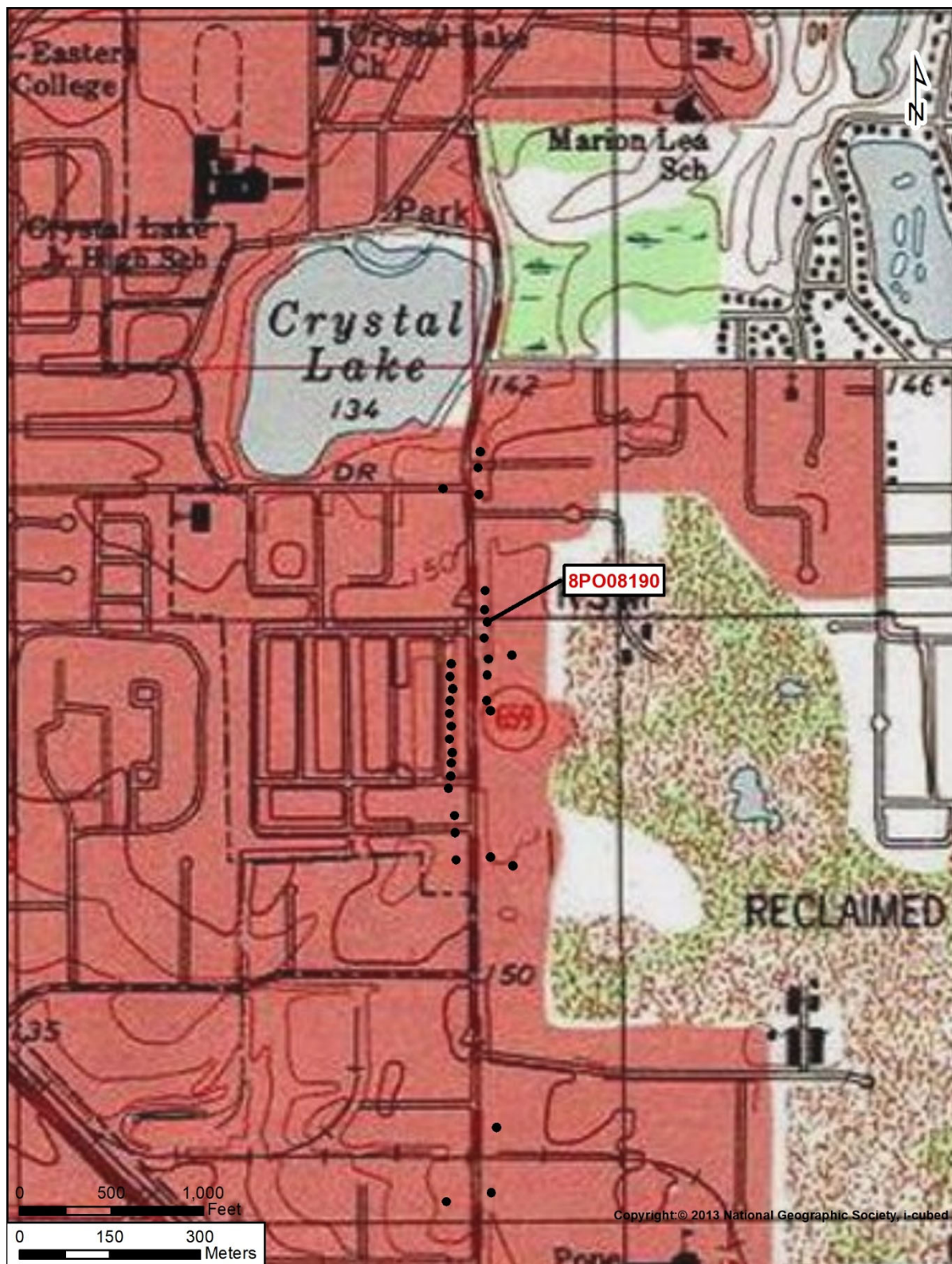
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27





☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008191**  
 Field Date 2-14-2019  
 Form Date 3-18-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1616 COMBEE ROAD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 1616 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) Between Kiwanis Ave & Industrial Park Dr  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-033013 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410786 Northing 3100041  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1968 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Office building From (year): 1968 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof, removal of north side of bldg  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature east elevation  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) SEACREST ESTATE PROPERTIES LLC (2008), ERIC BRAY

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Stucco 2. Artbrick, artstone 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. Hip 3. Flat  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. Built-up  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) SHS, individual & paired, metal, 1/1; fixed, metal; awning, metal, 3-stacked with security grills  
 Distinguishing Architectural Features (exterior or interior ornaments) concrete sill, vinyl siding on gable ends, security grills

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) a non-historic masonry building located east of the main office

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through single full-view metal frame glass door with security grill beneath roof overhang  
 Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a concrete block structural system with brick veneer flanking the windows. The building once had an L-shaped plan, but the northern portion has since been removed; a flat roof addition is located on the east elevation.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)  
 Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.  
 Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)  
 1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing southeast

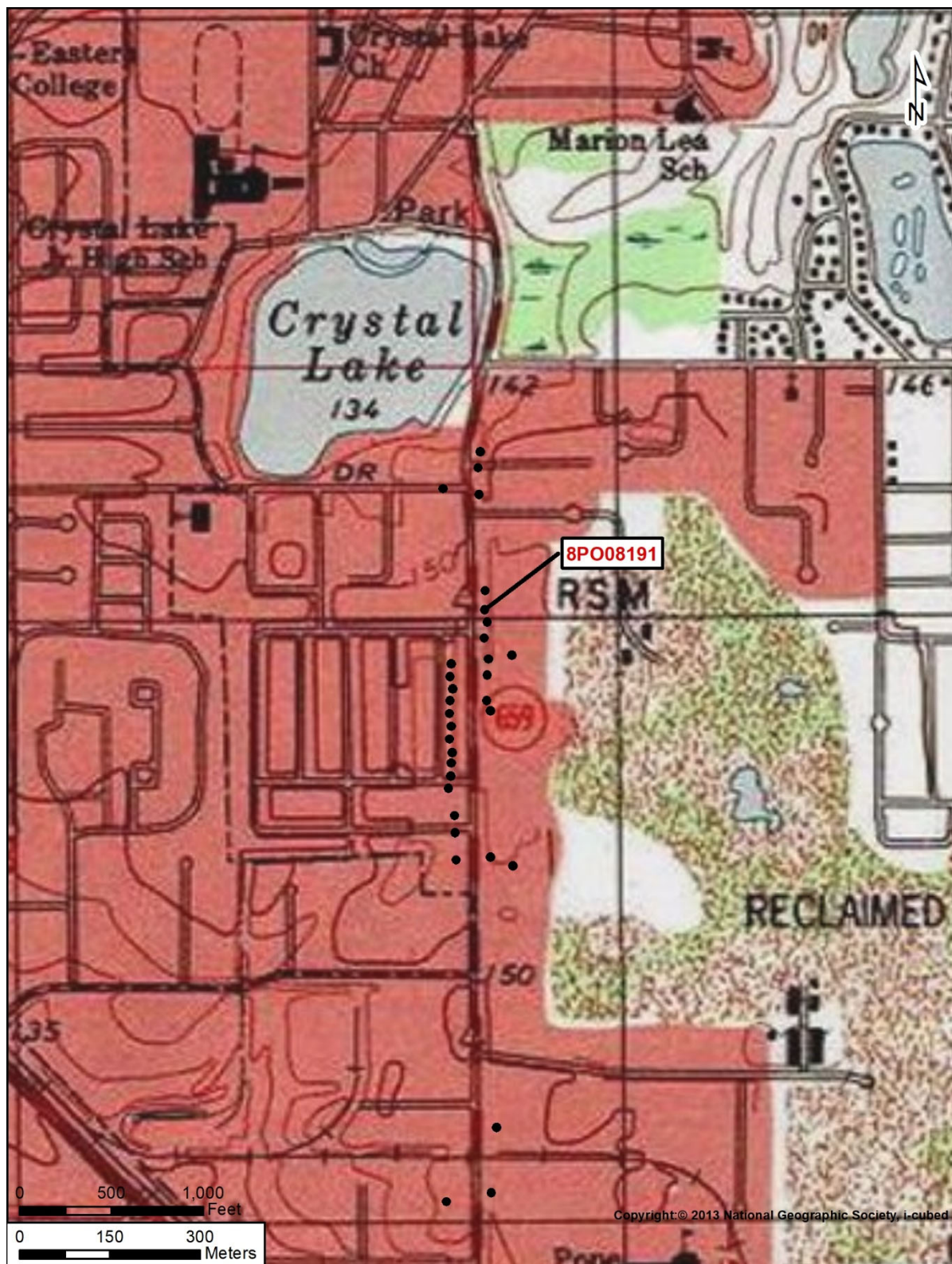
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27





# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008192**  
 Field Date 2-14-2019  
 Form Date 3-18-2019  
 Recorder # \_\_\_\_\_

☒ Original  
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1612 COMBEE ROAD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Street Number 1612 Direction \_\_\_\_\_ Street Name Combee Street Type Road Suffix Direction S  
 Address: \_\_\_\_\_  
 Cross Streets (nearest/between) Between Kiwanis Ave & Industrial Park Dr  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-033015 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410787 Northing 3100073  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1968 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Office building From (year): 1968 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof,  
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-1980 Nature east elevation  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) UNITED WHOLESALE DISTRIBUTORS INC (2007), UDAYGIRI C PATEL (2001)  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Brick 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) fixed, metal  
 Distinguishing Architectural Features (exterior or interior ornaments) boxed cornice  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
<input type="checkbox"/> Owner Objection	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Brick 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) N elev: through two single full-view metal frame glass doors flanked by full-view fixed windows beneath roof overhang  
 Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a 1980s steel frame warehouse addition located on the east elevation. The building is a typical example of an altered Masonry Vernacular style office building found in the area and Polk County.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





**PHOTOGRAPH**



Facing south

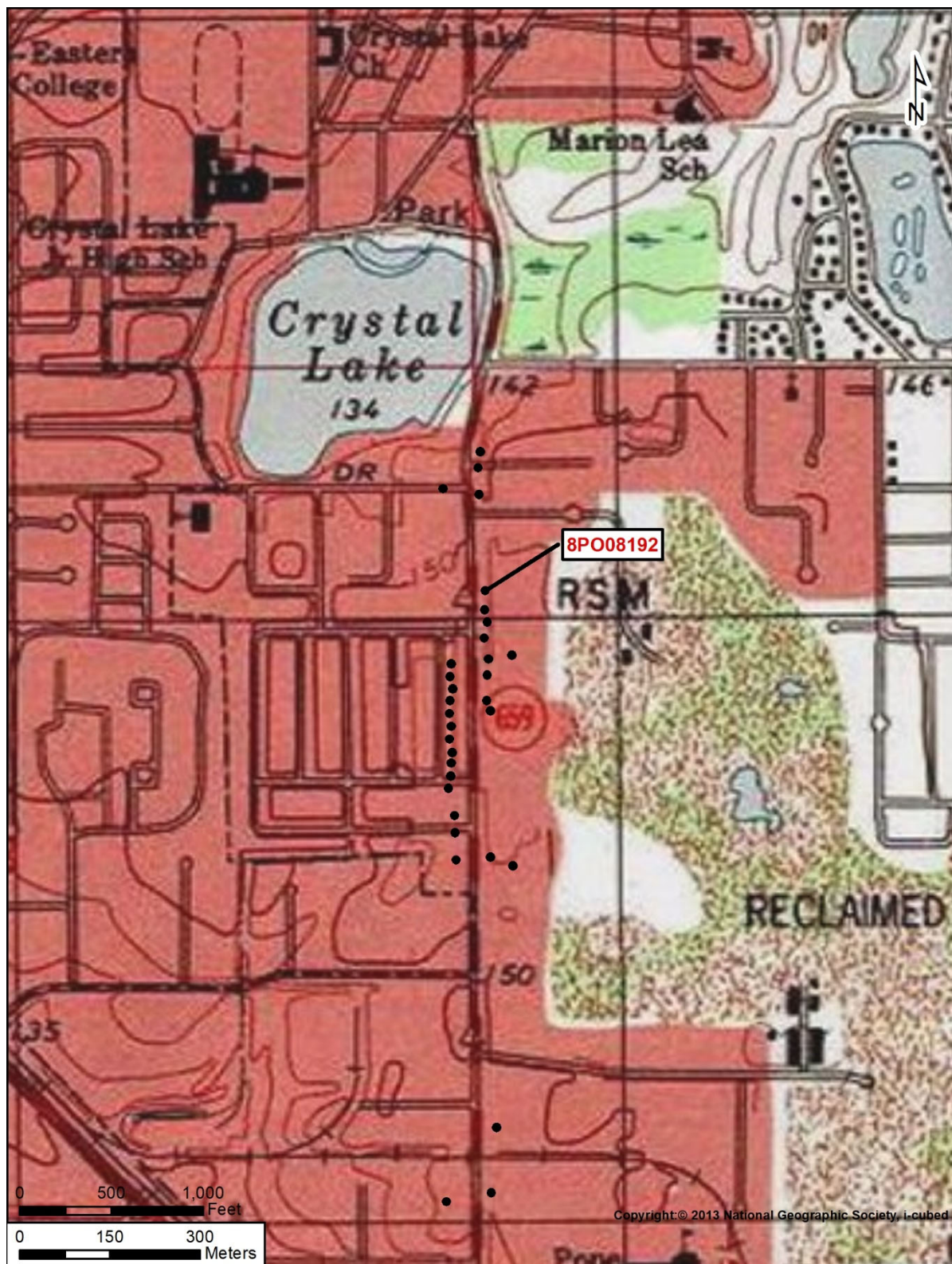
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008193**  
 Field Date 2-14-2019  
 Form Date 3-18-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1435 COMBEE ROAD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 1435 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) NW intersection of S Crystal Lake Dr & Combee Rd  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-28-000000-011040 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410718 Northing 3100243  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1968 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Auto repair/Gas station From (year): 1968 To (year): curr  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature reroof  
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-2010 Nature north elevation shed roof canopy  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) COMBEE RD HOLDINGS LLC (2015), MPS INVESTMENTS (2007), SHRINJI ENTERPRISE INC (2005), MOHANIAL T TAILOR (2002)  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Stucco 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Flat 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Built-up 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) fixed, metal frame; picture, grouped (4)  
 Distinguishing Architectural Features (exterior or interior ornaments) shingle cornice, self-supported canopy, picture windows  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				



## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Continuous 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete Block 2. \_\_\_\_  
 Main Entrance (stylistic details) E elev: through double full-view metal frame glass doors with transom beneath roof overhang  
 Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building is a typical example of a Masonry Vernacular style convenience store/gas station found in the area and Polk County. A self-supported canopy covers the pump station and the cantilevered roof overhang covers the entrance walkway.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



## PHOTOGRAPH



Facing west

## AERIAL MAP







USGS Lakeland  
Township 28 South, Range 24 East, Section 28





☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08194**  
 Field Date 2-14-2019  
 Form Date 3-18-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1500 COMBEE ROAD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 1500 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) SE intersection of Royal Dr & Combee Rd  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 42 PG 21  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-242700-000200 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL ACRES FIRST UNIT Block \_\_\_\_\_ Lot 20  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410778 Northing 3100233  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1958 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1958 To (year): unk  
 Current Use Store From (year): unk To (year): curr  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature fenestration changes, cornice/parapet  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature SW elevation  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) MARC GILIAM (2007), WOLVAGATOR LLC (2006), TEAMHAMMER INC (2000)

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. Drop siding 3. \_\_\_\_\_  
 Roof Type(s) 1. Cross-gabled 2. Flat 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. Built-up 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) fixed; picture; SHS, individual, metal frame, 1/1  
 Distinguishing Architectural Features (exterior or interior ornaments) metal frame cornice/parapet, drop siding on gable ends, concrete sill

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____  <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Keeper – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through a single full-view metal frame glass door beneath projecting metal frame cornice  
 Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐excellent ☐good ☒fair ☐deteriorated ☐ruinous

Narrative Description of Resource The building has been altered with additions on the south and southwest elevations and no longer conveys historic or architectural significance. A metal frame cornice covers the original cross-gabled roof.

Archaeological Remains \_\_\_\_\_ ☐Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps  
☐FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps  
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)  
☒cultural resource survey (CRAS) ☐historic photos ☐interior inspection ☐HABS/HAER record search  
☒other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The physical features of the building are no longer visible; therefore does not convey historic or architectural significance. In addition, background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
  - ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
  - ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
- If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

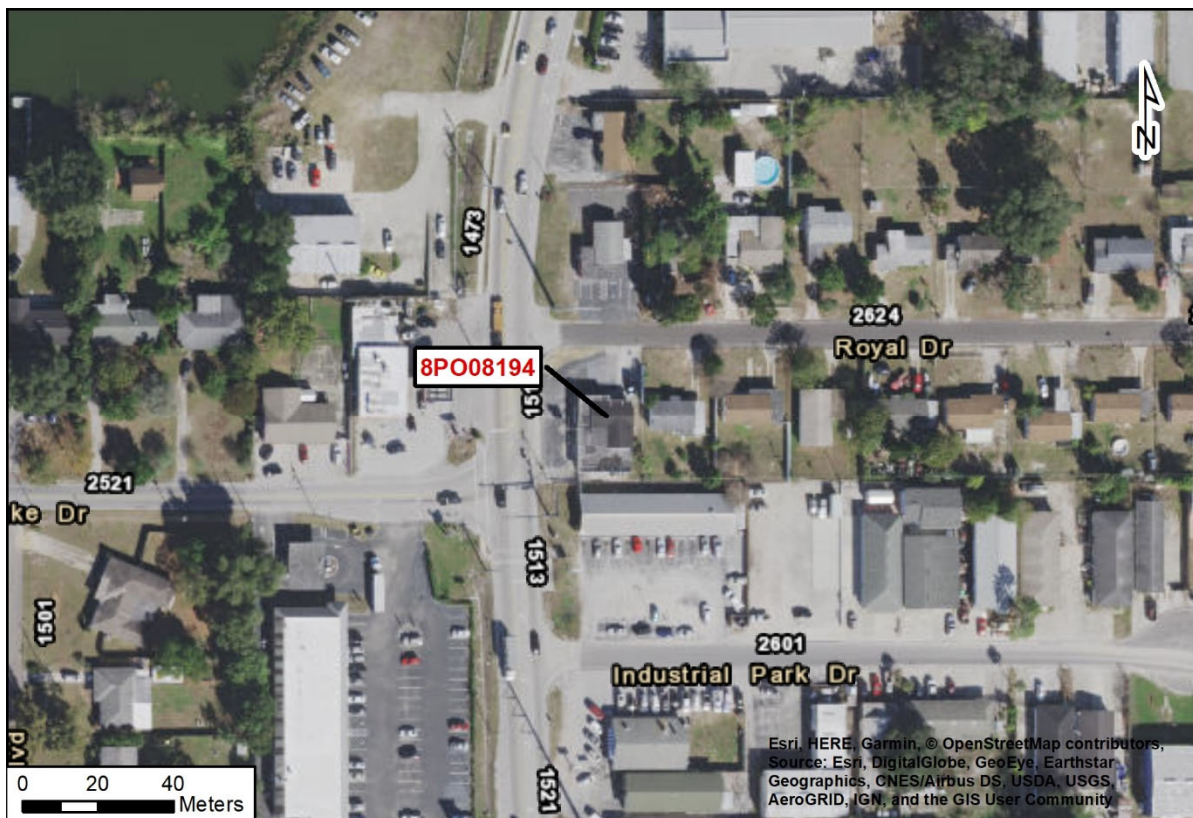


**PHOTOGRAPH**



Facing southeast

**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PO08195**  
 Field Date 2-14-2019  
 Form Date 3-18-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1440 COMBEE ROAD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 1440 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) NE intersection of Royal Dr & Combee Rd  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 42 PG 21  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-242700-000010 Landgrant \_\_\_\_\_  
 Subdivision Name ROYAL ACRES FIRST UNIT Block \_\_\_\_\_ Lot 1  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410777 Northing 3100277  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1958 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1958 To (year): unk  
 Current Use Store From (year): unk To (year): curr  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature converted carport, fenestration changes  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature S elevation, shed canopy (e elev)  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) PARSHWANATH INC (2008), RONALD S WILLIAMS (2006), AMY LHOLBROOK (2005)  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. Drop siding 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. Flat 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. Built-up 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) sliding; SHS, individual, metal frame, 2/2  
 Distinguishing Architectural Features (exterior or interior ornaments) vinyl siding on gable ends, concrete sill, security grill, gable end vents, drop siding with corner boards

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) E elev: through double 15-light wood frame doors beneath shed roof canopy

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building no longer conveys historic or architectural significance since being altered with an addition on the south elevation and enclosing the carport.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The physical features of the building are no longer visible; therefore does not convey historic or architectural significance. In addition, background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





**PHOTOGRAPH**



Facing northeast

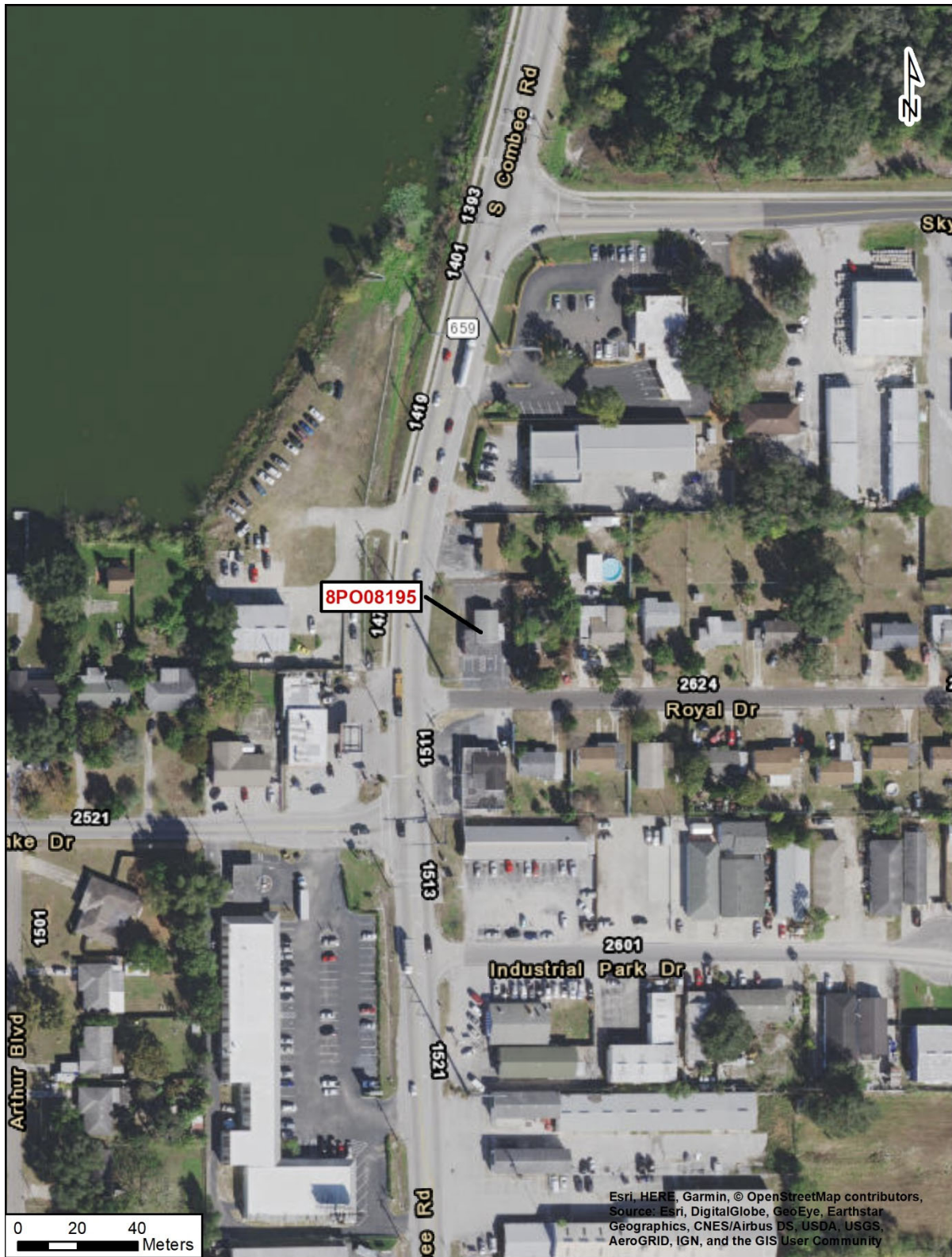


Facing southeast





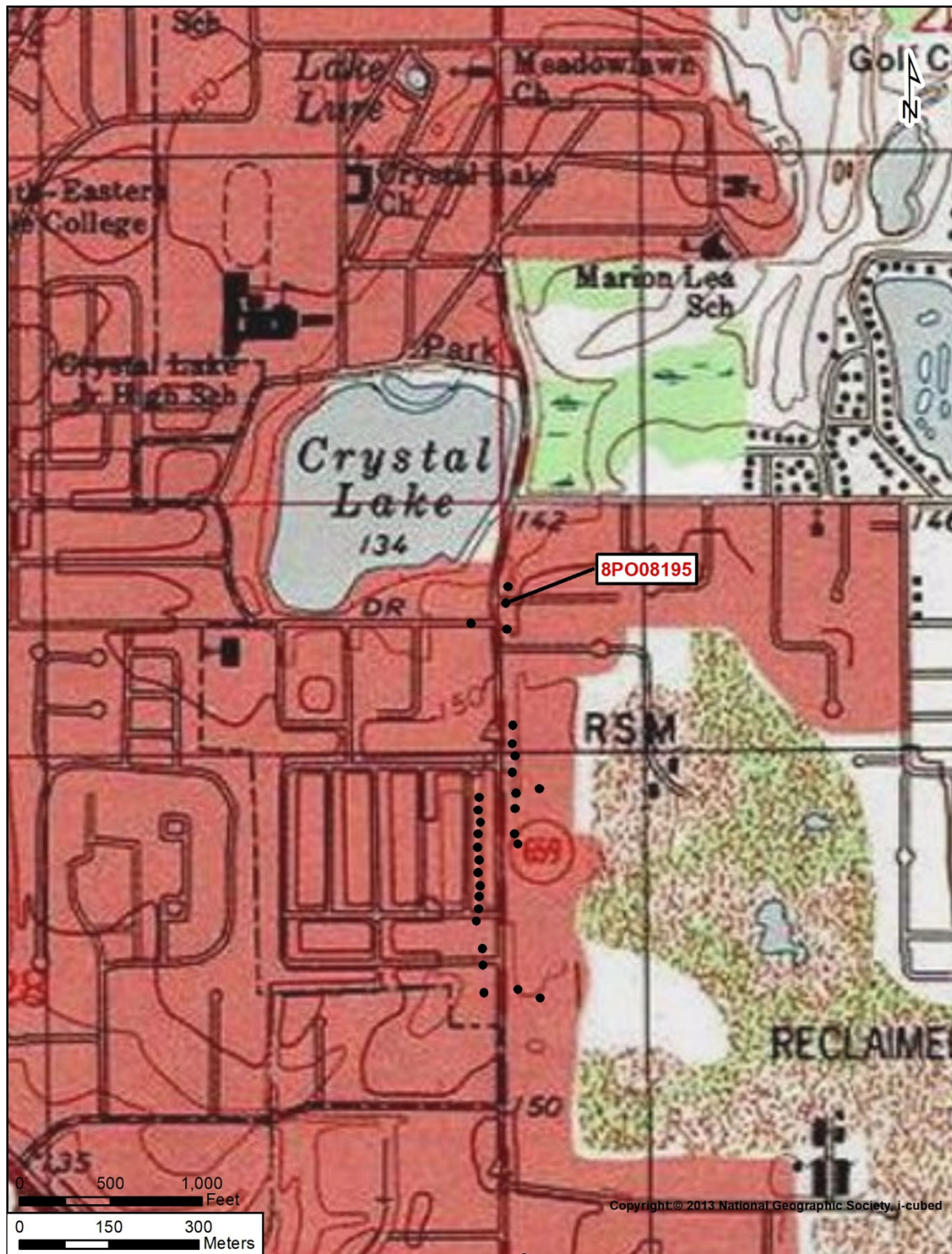
AERIAL MAP







USGS Lakeland  
Township 28 South, Range 24 East, Section 27





☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **P008196**  
 Field Date 2-14-2019  
 Form Date 3-18-2019  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 1430 COMBEE ROAD S Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS: Combee Rd from US 98 to N Crystal Dr Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 1430 Combee Road S  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) between Royal Drive & Skyview Drive  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 27 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-27-000000-033002 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410780 Northing 3100304  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1959 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1959 To (year): unk  
 Current Use Dentist/Medical/Professional office From (year): unk To (year): curr  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature converted carport, reroof  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) RAUL PICON (2019), RONALD S WILLIAMS (2006), FOX & HOUND PROPERTIES LLC (2005)  
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1  
 Exterior Fabric(s) 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. Flat 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. Built-up 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.) awning, individual & grouped (3), 3- & 4-stacked; SHS, individual, 1/1  
 Distinguishing Architectural Features (exterior or interior ornaments) vertical plank on gable ends, concrete sill, security grill, gable end vents

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

## DESCRIPTION (continued)

Chimney: No. \_\_\_\_ Chimney Material(s): 1. \_\_\_\_ 2. \_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_ 3. \_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_  
 Main Entrance (stylistic details) W elev: through a single panel door beneath shed pent roof

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The building has a side gable roof with a carport beneath a flat roof that has been converted into living space.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) USDA historic aerial photographs (Accessible through PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Publication of Archival Library & Museum Materials (PALMM), accessible online at: <http://susdl.fcla.edu/>

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information  
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information  
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The building is not a significant embodiment of a type, period, or method of construction and background research did not reveal any historic associations with significant persons and/or events.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
 Document description Field photographs, notes, maps File or accession #'s P18046  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name Kimberly M. Irby Affiliation Archaeological Consultants Inc  
 Recorder Contact Information 8110 Blaikie Court, Suite A, Sarasota, FL 34240/941-379-6206/ACIFlorida@comcast.net  
 (address / phone / fax / e-mail)

## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**PHOTOGRAPH**



Facing northeast

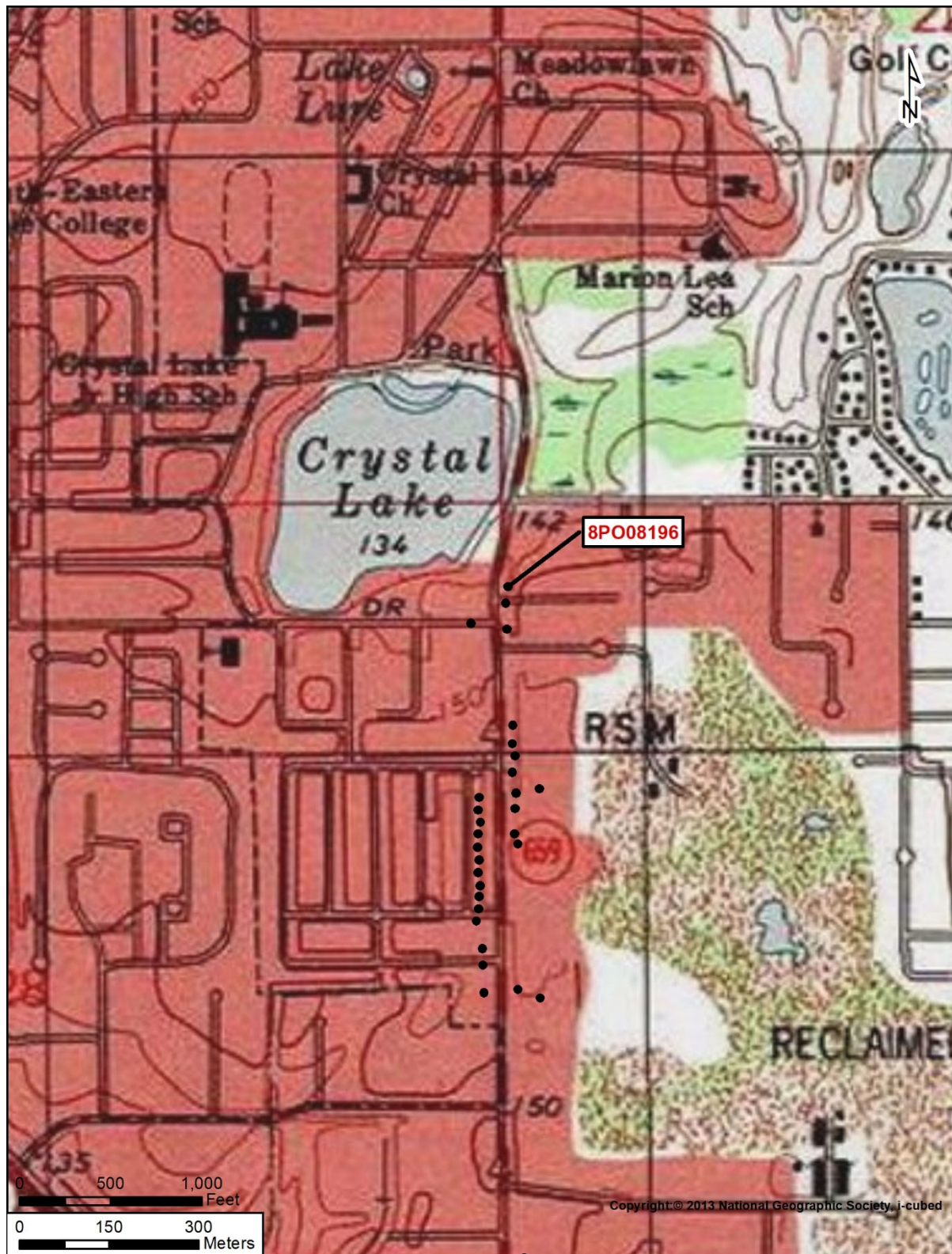
**AERIAL MAP**







USGS Lakeland  
Township 28 South, Range 24 East, Section 27



☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **PO08479**  
 Field Date 9-24-2020  
 Form Date 9-25-2020  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2617 Maine Avenue Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name CRAS SR 659 (Combee Rd) from US 98 Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 2617 Maine Avenue  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) Maine Avenue & S Combee Road  
 USGS 7.5 Map Name LAKELAND USGS Date 1975 Plat or Other Map PB 7 / PG 43  
 City / Town (within 3 miles) Lakeland In City Limits? ☐ yes ☐ no ☒ unknown County Polk  
 Township 28S Range 24E Section 34 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 24-28-34-268000-001040 Landgrant \_\_\_\_\_  
 Subdivision Name Eaton Park Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 410830 Northing 3098769  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1955 ☐ approximately ☐ year listed or earlier ☒ year listed or later  
 Original Use Residence, private From (year): 1955 To (year): CURR  
 Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature Roofing, siding, A/C window unit  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.)  
James D. & Joyce K. Prevatte

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1  
 Exterior Fabric(s) 1. Stucco 2. Wood/Plywood 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_

Windows (types, materials, etc.)

Picture, metal, single, central fixed light flanked by 13-stacked jalousie; Jalousie, metal, single, paired, 10-stacked, 13-stacked

Distinguishing Architectural Features (exterior or interior ornaments)

Overhanging eaves w/ boxed rafter tails, faux-shutters (stucco), gable vents, stucco windowsills, rounded corners, sunburst foundation vents

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

\_\_\_\_\_

### DHR USE ONLY

### OFFICIAL EVALUATION

### DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

**DESCRIPTION (continued)**Chimney: No. 1 Chimney Material(s): 1. Masonry 2. \_\_\_\_\_Structural System(s): 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Continuous 2. \_\_\_\_\_Foundation Material(s): 1. Concrete Block 2. \_\_\_\_\_**Main Entrance (stylistic details)**

N ELEV: single door w/ paneling

**Porch Descriptions (types, locations, roof types, etc.)**Condition (overall resource condition): ☐ excellent ☐ good ☒ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

A one-story Masonry Vernacular style building w/ plywood siding in the gable ends.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- |  |   |   |  |
|--|---|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                                       | <input type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection  | <input type="checkbox"/> city directory   | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records   | <input type="checkbox"/> newspaper files  | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input type="checkbox"/> cultural resource survey (CRAS)   | <input type="checkbox"/> historic photos  | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>USDA historic aerial photographs (PALMM)</u> |   |   |  |

**Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)**Publication of Archival Library and Museum Materials (PALMM), accessible online at:  
<http://palmm.fcla.edu/>**OPINION OF RESOURCE SIGNIFICANCE**Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information**Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)**

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- Document type All materials at one location Maintaining organization Archaeological Consultants Inc
- 1) Document description Files, photos, research, documents File or accession #'s P18046
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_
- Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**

Recorder Name Savannah Young Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 / aciflorida@comcast.net

(address / phone / fax / e-mail)

**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





**PHOTOGRAPHS**





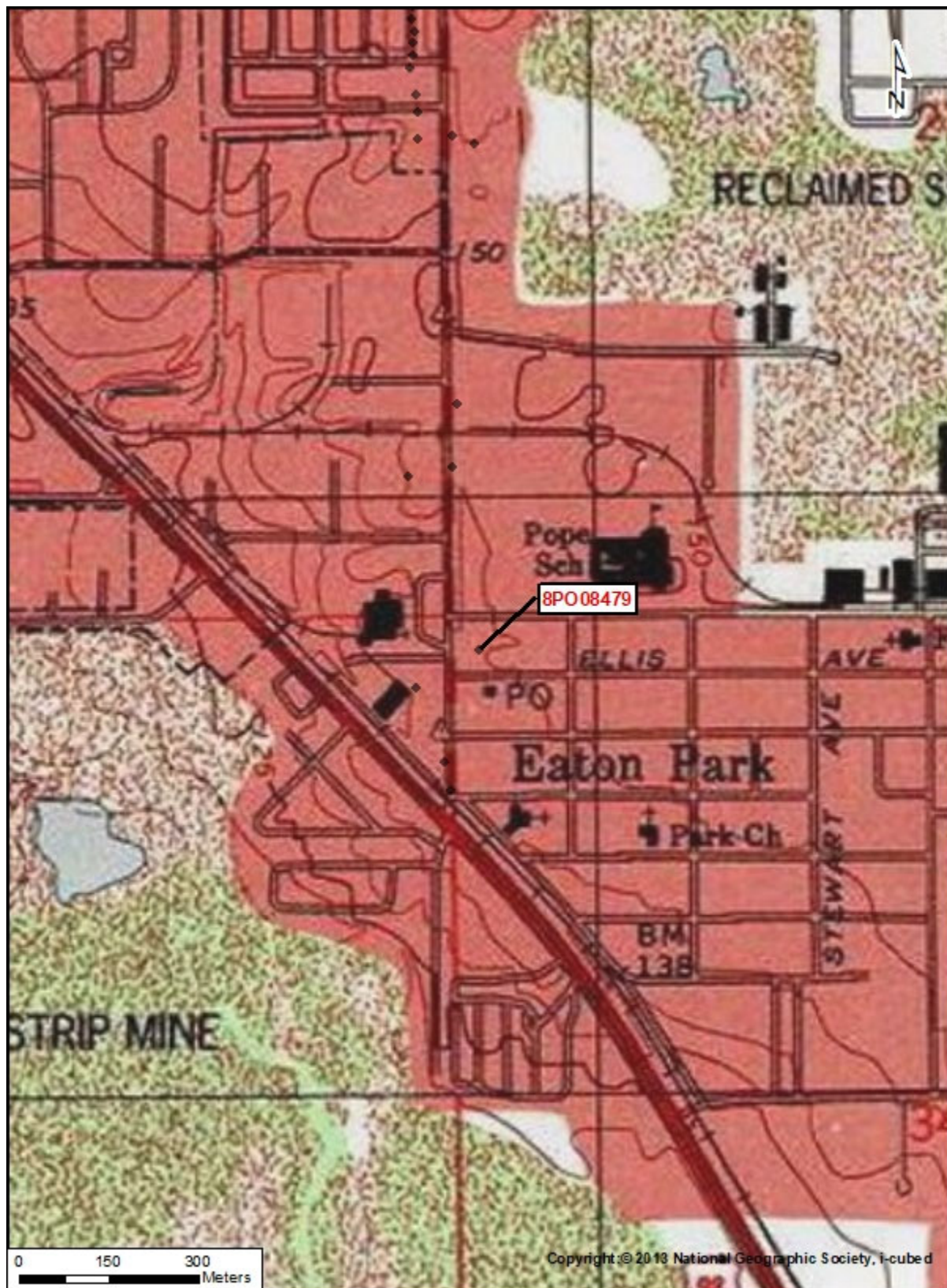
## AERIAL MAP







USGS Lakeland  
Township 28 South, Range 24 East, Section 34







# RESOURCE GROUP FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site #8 **PO08480**  
 Field Date 9-24-2020  
 Form Date 9-25-2020  
 Recorder# \_\_\_\_\_

☒ Original  
☐ Update

Consult the *Guide to the Resource Group Form* for additional instructions

**NOTE: Use this form to document districts, landscapes, building complexes and linear resources** as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. **Do not use this form for National Register multiple property submissions (MPSs).** National Register MPSs are treated as Site File manuscripts and are associated with the individual resources included under the MPS cover using the Site File manuscript number.

### Check ONE box that best describes the Resource Group:

- ☐ **Historic district** (NR category "district"): buildings and NR structures only: NO archaeological sites
- ☐ **Archaeological district** (NR category "district"): archaeological sites only: NO buildings or NR structures
- ☐ **Mixed district** (NR category "district"): includes more than one type of cultural resource (example: archaeological sites and buildings)
- ☐ **Building complex** (NR category usually "building(s)"): multiple buildings in close spatial and functional association
- ☐ **Designed historic landscape** (NR category usually "district" or "site"): can include multiple resources (see *National Register Bulletin #18*, page 2 for more detailed definition and examples: e.g. parks, golf courses, campuses, resorts, etc.)
- ☐ **Rural historic landscape** (NR category usually "district" or "site"): can include multiple resources and resources not formally designed (see *National Register Bulletin #30, Guidelines for Evaluating and Documenting Rural Historic Landscapes* for more detailed definition and examples: e.g. farmsteads, fish camps, lumber camps, traditional ceremonial sites, etc.)
- ☒ **Linear resource** (NR category usually "structure"): Linear resources are a special type of structure or historic landscape and can include canals, railways, roads, etc.

Resource Group Name Atlantic Coast Line - Eaton Park Spur Multiple Listing [DHR only] \_\_\_\_\_  
 Project Name CRAS SR 659 (Combee Rd) from US 98 FMSF Survey # \_\_\_\_\_  
 National Register Category (please check one): ☐ building(s) ☒ structure ☐ district ☐ site ☐ object  
 Linear Resource Type (if applicable): ☐ canal ☒ railway ☐ road ☐ other (describe): \_\_\_\_\_  
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

## LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction  
 City/Town (within 3 miles) Lakeland In Current City Limits? ☐ yes ☐ no ☒ unknown  
 County or Counties (do not abbreviate) Polk  
 Name of Public Tract (e.g., park) \_\_\_\_\_  
 1) Township 28S Range 24E Section 27, 28 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 2) Township \_\_\_\_\_ Range \_\_\_\_\_ Section \_\_\_\_\_ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE  
 3) Township \_\_\_\_\_ Range \_\_\_\_\_ Section \_\_\_\_\_ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE  
 4) Township \_\_\_\_\_ Range \_\_\_\_\_ Section \_\_\_\_\_ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE  
 USGS 7.5' Map(s) 1) Name LAKELAND USGS Date 1975  
 2) Name \_\_\_\_\_ USGS Date \_\_\_\_\_  
 Plat, Aerial, or Other Map (map's name, originating office with location) \_\_\_\_\_  
 Landgrant \_\_\_\_\_  
 Verbal Description of Boundaries (description does not replace required map)  
Approximately 292 ft, crossing Combee Road (CR 33A)

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date		Init.	
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

**HISTORY & DESCRIPTION**Construction Year: 1963 ☒approximately ☐year listed or earlier ☐year listed or later

Architect/Designer: \_\_\_\_\_ Builder: \_\_\_\_\_

Total number of individual resources included in this Resource Group: # of contributing 1 # of non-contributing 0

Time period(s) of significance (choose a period from the list or type in date range(s), e.g. 1895-1925)

1. Modern (Post 1950)

3. \_\_\_\_\_

2. \_\_\_\_\_ 4. \_\_\_\_\_

Narrative Description (*National Register Bulletin 16A* pp. 33-34; attach supplementary sheets if needed)

See continuation sheet.

**RESEARCH METHODS (check all that apply)**☒FMSF record search (sites/surveys)☐library research☐building permits☐Sanborn maps☐FL State Archives/photo collection☐city directory☐occupant/owner interview☐plat maps☒property appraiser / tax records☐newspaper files☐neighbor interview☐Public Lands Survey (DEP)☐cultural resource survey☐historic photos☐interior inspection☐HABS/HAER record search☒other methods (specify) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF Manuscript # if relevant)

Publication of Archival Library and Museum Materials (PALMM), accessible online at:  
<http://palmm.fcla.edu/>**OPINION OF RESOURCE SIGNIFICANCE**Potentially eligible individually for National Register of Historic Places? ☐yes ☒no ☐insufficient informationPotentially eligible as contributor to a National Register district? ☐yes ☒no ☐insufficient informationExplanation of Evaluation (required, see *National Register Bulletin 16A* p. 48-49. Attach longer statement, if needed, on separate sheet.)

See continuation sheet.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc  
Document description Files, photos, research, documents File or accession #'s P180462) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_**RECORDER INFORMATION**Recorder Name Savannah Young Affiliation Archaeological Consultants IncRecorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 / aciflorida@comcast.net  
(address / phone / fax / e-mail)**Required Attachments****① PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED****② LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED****③ TABULATION OF ALL INCLUDED RESOURCES** - Include name, FMSF #, contributing? Y/N, resource category, street address or other location information if no address.**④ PHOTOS OF GENERAL STREETScape OR VIEWS** (Optional: aerial photos, views of typical resources)

When submitting images, they must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

**CONTINUATION SHEET****Narrative History**

The approximately 292-ft segment of the Atlantic Coast Line – Eaton Park Spur is located in Sections 27 and 28 of Township 28 South, Range 24 East (USGS Lakeland 1975). The rail line consists of two standard gauge tracks affixed to timber railroad ties with double shoulder tie plates and hook head track spikes, rail anchors, and laid over gravel track ballast. The grade crossing at Combee Road is marked by two cantilever flashing lights. The Atlantic Coast Line – Eaton Park railroad spur was constructed in ca. 1963 to provide access to the Atlantic Coast Line industrial park at Eaton Park from the main line (Wells 1964, Vickers 1966). The spur is now a part of the CSX Corporation rail service system (CSX n.d.).

**Historic Context**

The development of railroad systems in Florida largely began in the late nineteenth century with the Disston Land Purchase of 1881, phosphate discovery, and the blooming citrus industry as the catalyst. As a result of growing interest in the region, the State government further enticed investors by awarding land to those who constructed railroads within the state (Johnston & Mattick 2001). The first railroad system in Florida was the Florida Central & Peninsular Railroad (FC&P), established in 1885. From 1880 to 1890, railroad tracks in the state increased from 518 to 2,489 miles (Panamerican 2005). Prior to the development of railroad systems, railroads consisted of short lines for local traffic located in the north and western regions of the state (Pettengill, Jr. 1952).

The South Florida Railroad was incorporated in 1879 in order to connect the port in Sanford and the city of Orlando – a line which was completed by 1880. In 1883, the Plant Investment Company purchased three-fifths interest in the South Florida Railroad, and as a result the railroad was directed west to connect Jacksonville and Tampa (Pettengill, Jr. 1952; Johnston & Mattick 2001). The Plant System was later acquired by the Atlantic Coast Line (ACL) Railroad in 1902. The Atlantic Coast Line Railroad was established in Baltimore, Maryland in 1899 and as a result of the acquisition became one of the largest railroad systems in the south with over 3,000 miles of tracks and access to ports in Charlotte Harbor, Jacksonville, and Tampa (Johnston and Mattick 2001). By 1903, five primary railroad systems existed as a result of consolidations: Seaboard Air Line Railway (SAL), Atlantic Coast Line Railroad (ACL), Florida East Coast Railway, Louisville and Nashville Railroad, and Southern Railway (Panamerican 2005).

The Atlantic Coast Line Railroad merged with Seaboard Air Line Railway, another regional giant and competitor, forming the Seaboard Coast Line Railroad in 1967. The National Railroad Passenger Corporation, later known as Amtrak, was established in 1971. Seaboard Coast Line Railroad joined the corporation with nineteen other railroads. In 1980, Seaboard Coast Line merged with the Chessie System to reorganize to its final form, the Chessie Seaboard Exchange (CSX Corporation) (Johnston & Mattick 2001).

**Evaluation of Significance**

The ca. 1963 rail spur is a typical example found throughout Florida and was constructed outside of the significant periods of history as stated in the *Florida's Historic Railroad Resources Multiple Property Listing* under property type F.3 (Johnston & Mattick 2001). Overall, the linear resource lacks sufficient engineering features and is not a significant embodiment of a type, period, or method of construction. In addition, background research did not reveal any historic associations with significant persons and/or events. As a result, 8PO08480 does not appear eligible for listing in the NRHP, either individually or as part of a historic district.



**CONTINUATION SHEET****REFERENCES:**

CSX

n.d. "CSX System Map." CSX Corporation. Accessed September 24, 2020.  
<https://www.csx.com/index.cfm/customers/maps/csx-system-map/>.

Johnston, Sidney and Barbara E. Mattick

2001 Florida's Historic Railroad Resources – National Register of Historic Places Multiple Property Documentation Form. United State Department of the Interior, National Park Service.

Panamerican Consultants, Inc.

2005 An Archaeological and Historical Survey of the Sarasota Rails to Trails Rail Corridor in Sarasota County, Florida. Panamerican Consultants, Inc., Tampa. Survey No. 14992.

Pettengill, Jr., George W.

1952 The Story of the Florida Railroads: 1834 – 1903. Bulletin No. 86 – The Railway & locomotive Historical Society, Inc., Boston.

United States Geological Survey (USGS)

1975 Lakeland, Florida. Photorevised 1987.

Vickers, Larry

1966 "Eight Firms Boost County Economy – Lakeland Industrial Park Booms." *The Tampa Tribune*, July 11, 1966. Accessed September 24, 2020. <http://newspapers.com>.

Wells, Earl

1964 "20 Industrial Executives To Tour Lakeland." *The Tampa Tribune*, January 4, 1964. Accessed September 24, 2020. <http://newspapers.com>.

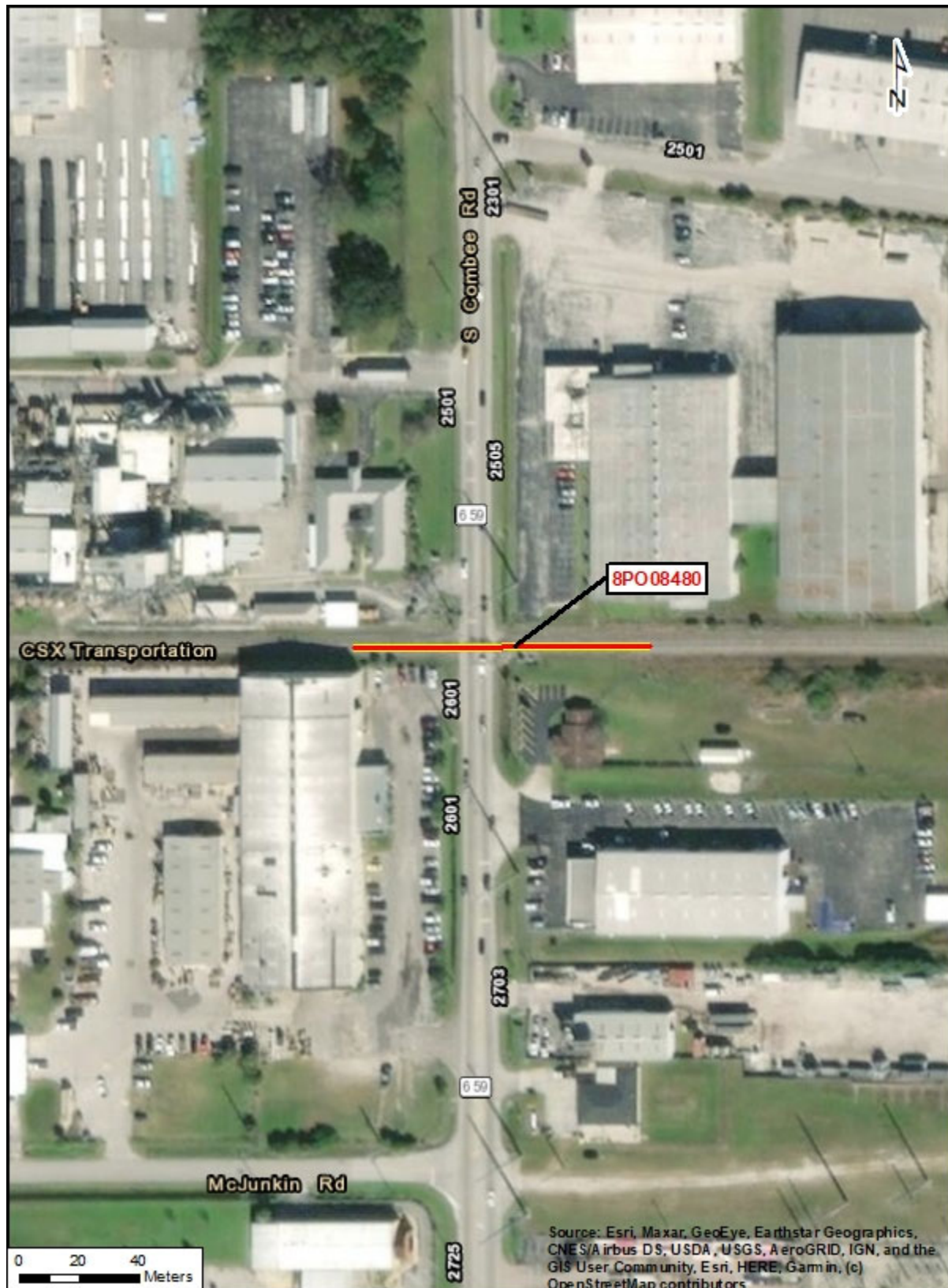


**PHOTOGRAPHS**





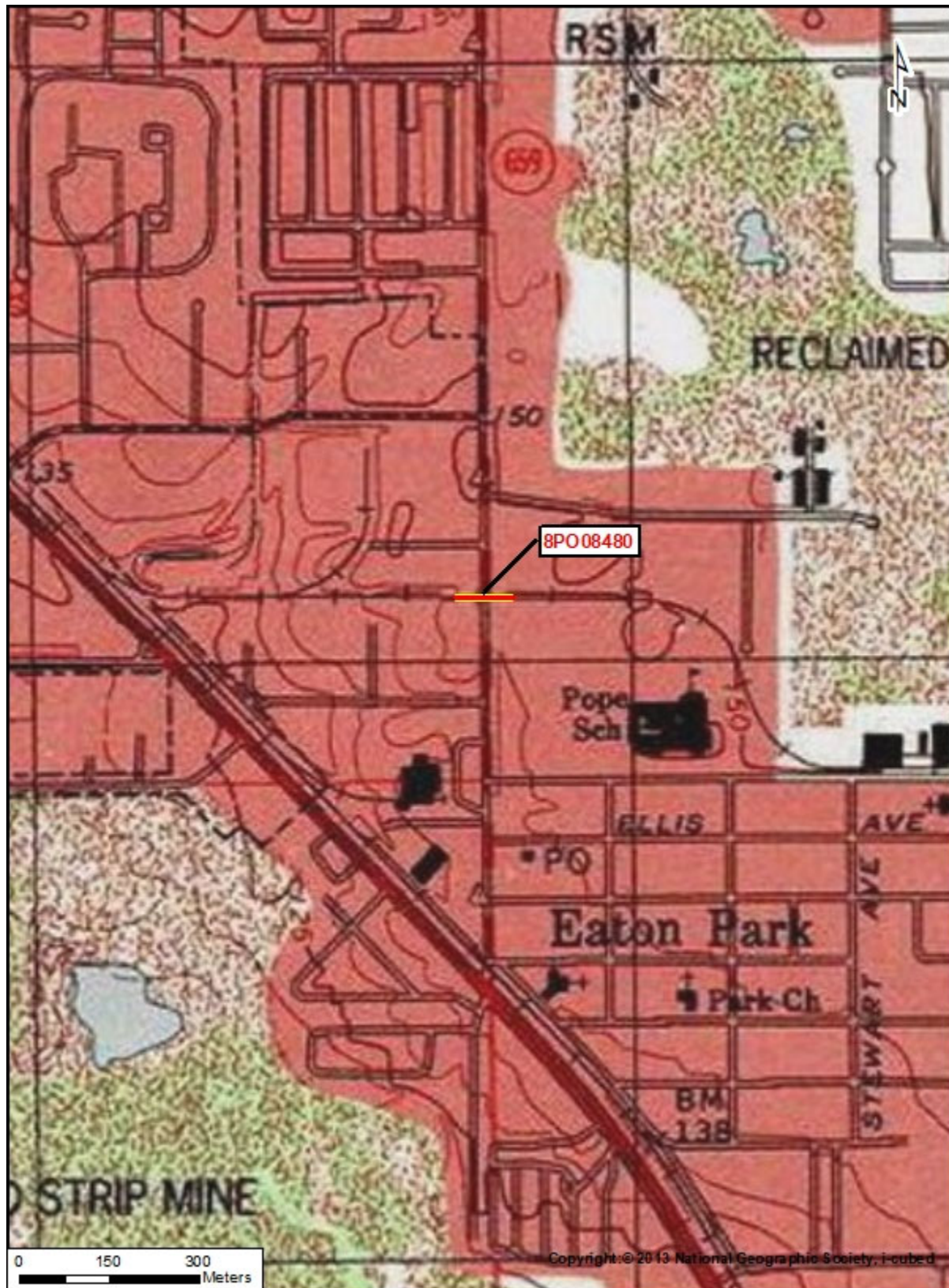
## AERIAL MAP







**USGS Lakeland**  
**Township 28 South, Range 24 East, Sections 27 & 28**



## **APPENDIX D: Survey Log**

Ent D (FMSF only) \_\_\_\_\_



# Survey Log Sheet

Florida Master Site File  
Version 5.0 3/19

Survey # (FMSF only) \_\_\_\_\_

Consult *Guide to the Survey Log Sheet* for detailed instructions.

## Manuscript Information

### Survey Project (name and project phase)

CRAS SR 659 (Combee Rd) from US 98 to North Crystal Lake Dr

### Report Title (exactly as on title page)

Cultural Resource Assessment Survey, Project Development and Environment Study, State Road (SR) 659 (Combee Road) From US 98 to North Crystal Lake Drive, Polk County, Florida

### Report Authors (as on title page)

1. ACI 3. \_\_\_\_\_  
2. \_\_\_\_\_ 4. \_\_\_\_\_

Publication Year 2020

Number of Pages in Report (do not include site forms) 41

### Publication Information (Give series, number in series, publisher and city. For article or chapter, cite page numbers. Use the style of *American Antiquity*.)

P18046; ACI Florida, Sarasota

### Supervisors of Fieldwork (even if same as author) Names Almy, Marion

Affiliation of Fieldworkers: Organization Archaeological Consultants Inc City Sarasota

### Key Words/Phrases (Don't use county name, or common words like *archaeology, structure, survey, architecture, etc.*)

1. SR 659 3. US 98 5. \_\_\_\_\_ 7. \_\_\_\_\_  
2. Combee Road 4. \_\_\_\_\_ 6. \_\_\_\_\_ 8. \_\_\_\_\_

### Survey Sponsors (corporation, government unit, organization, or person funding fieldwork)

Name \_\_\_\_\_ Organization Florida Dept of Transportation - District 1

Address/Phone/E-mail 801 North Broadway Avenue, Bartow, Florida 33831

Recorder of Log Sheet Savannah Young Date Log Sheet Completed 10-27-2020

Is this survey or project a continuation of a previous project? ☒ No ☐ Yes: Previous survey #s (FMSF only)

## Project Area Mapping

### Counties (select every county in which field survey was done; attach additional sheet if necessary)

1. Polk 3. \_\_\_\_\_ 5. \_\_\_\_\_  
2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

### USGS 1:24,000 Map Names/Year of Latest Revision (attach additional sheet if necessary)

1. Name LAKELAND Year 1975 4. Name \_\_\_\_\_ Year \_\_\_\_\_  
2. Name \_\_\_\_\_ Year \_\_\_\_\_ 5. Name \_\_\_\_\_ Year \_\_\_\_\_  
3. Name \_\_\_\_\_ Year \_\_\_\_\_ 6. Name \_\_\_\_\_ Year \_\_\_\_\_

## Field Dates and Project Area Description

Fieldwork Dates: Start 2-12-2019 End 9-24-2020 Total Area Surveyed (fill in one) \_\_\_\_\_ hectares \_\_\_\_\_ acres

Number of Distinct Tracts or Areas Surveyed \_\_\_\_\_

If Corridor (fill in one for each) Width: \_\_\_\_\_ meters 40 feet Length: \_\_\_\_\_ kilometers 1.37 miles



## Research and Field Methods

Types of Survey (select all that apply): ☒ archaeological ☒ architectural ☒ historical/archival ☐ underwater  
☐ damage assessment ☐ monitoring report ☐ other(describe): \_\_\_\_\_

## Scope/Intensity/Procedures

Background research, surface reconnaissance, subsurface testing systematically and judgmentally within APE; 50 cm diameter, 1 m deep, 6.4 mm mesh screen; historic survey; photos taken; report prepared

## Preliminary Methods (select as many as apply to the project as a whole)

☐ Florida Archives (Gray Building) ☐ library research- local public ☒ local property or tax records ☒ other historic maps ☐ LIDAR  
☐ Florida Photo Archives (Gray Building) ☐ library-special collection ☒ newspaper files ☒ soils maps or data ☐ other remote sensing  
☒ Site File property search ☒ Public Lands Survey (maps at DEP) ☒ literature search ☒ windshield survey  
☒ Site File survey search ☐ local informant(s) ☐ Sanborn Insurance maps ☒ aerial photography  
☐ other (describe): \_\_\_\_\_

## Archaeological Methods (select as many as apply to the project as a whole)

☐ Check here if **NO** archaeological methods were used.  
☐ surface collection, controlled ☐ shovel test-other screen size ☐ block excavation (at least 2x2 m) ☐ metal detector  
☐ surface collection, uncontrolled ☐ water screen ☐ soil resistivity ☐ other remote sensing  
☒ shovel test-1/4" screen ☐ posthole tests ☐ magnetometer ☒ pedestrian survey  
☐ shovel test-1/8" screen ☐ auger tests ☐ side scan sonar ☐ unknown  
☐ shovel test 1/16" screen ☐ coring ☐ ground penetrating radar (GPR)  
☐ shovel test-unscreened ☐ test excavation (at least 1x2 m) ☐ LIDAR  
☐ other (describe): \_\_\_\_\_

## Historical/Architectural Methods (select as many as apply to the project as a whole)

☐ Check here if **NO** historical/architectural methods were used.  
☐ building permits ☐ demolition permits ☐ neighbor interview ☒ subdivision maps  
☐ commercial permits ☒ windshield survey ☐ occupant interview ☒ tax records  
☐ interior documentation ☒ local property records ☐ occupation permits ☐ unknown  
☐ other (describe): \_\_\_\_\_

## Survey Results

Resource Significance Evaluated? ☒ Yes ☐ No

Count of Previously Recorded Resources 0 Count of Newly Recorded Resources 37

List Previously Recorded Site ID#s with Site File Forms Completed (attach additional pages if necessary)

List Newly Recorded Site ID#s (attach additional pages if necessary)

PO08162-PO08196, PO08479, PO08480

Site Forms Used: ☐ Site File Paper Forms ☒ Site File PDF Forms

## REQUIRED: Attach Map of Survey or Project Area Boundary

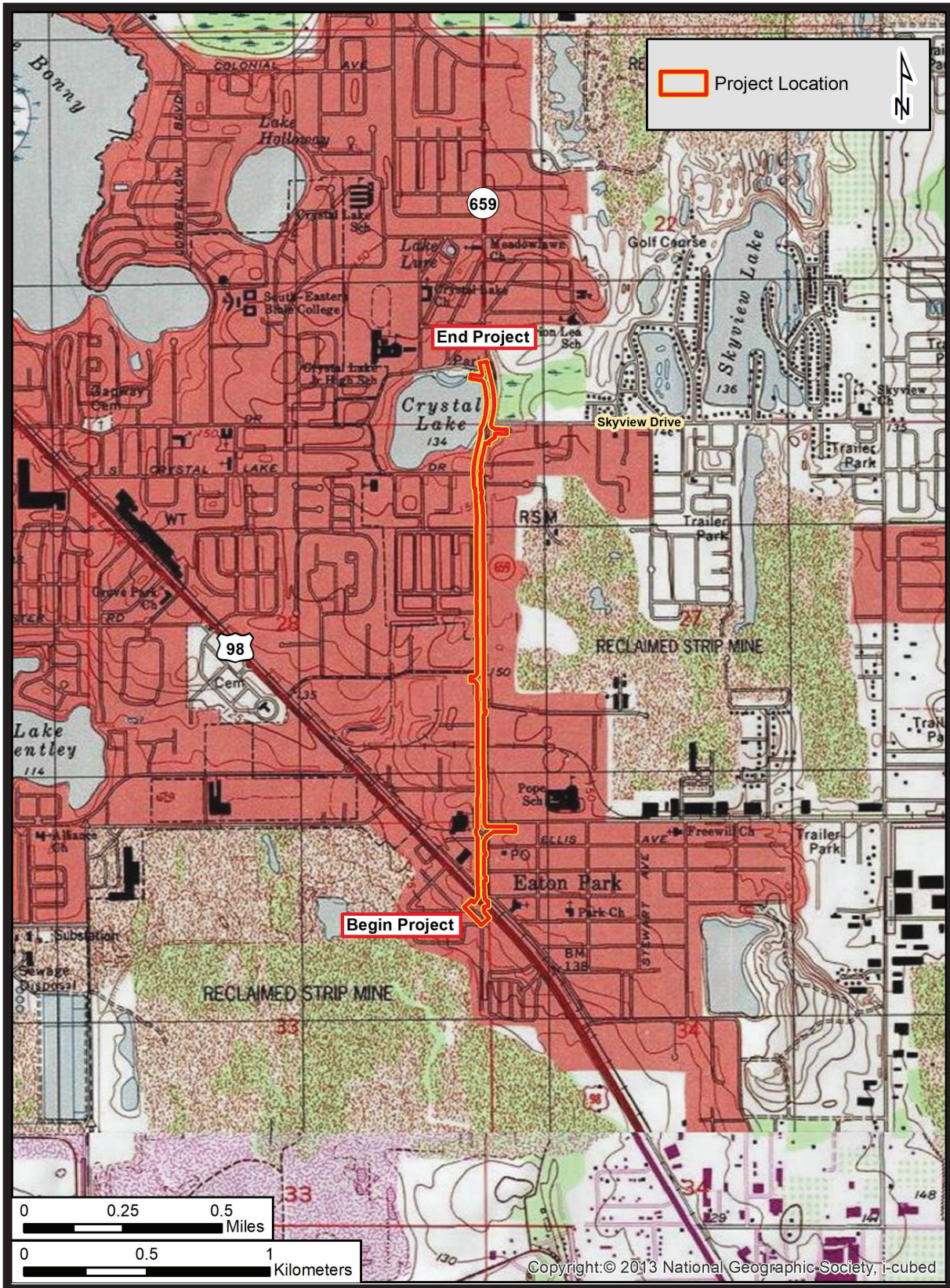
## SHPO USE ONLY

## SHPO USE ONLY

## SHPO USE ONLY

Origin of Report: ☐ 872 ☐ Public Lands ☐ UW ☐ 1A32 # \_\_\_\_\_ ☐ Academic ☐ Contract ☐ Avocational  
☐ Grant Project # \_\_\_\_\_ ☐ Compliance Review: CRAT # \_\_\_\_\_  
Type of Document: ☐ Archaeological Survey ☐ Historical/Architectural Survey ☐ Marine Survey ☐ Cell Tower CRAS ☐ Monitoring Report  
☐ Overview ☐ Excavation Report ☐ Multi-Site Excavation Report ☐ Structure Detailed Report ☐ Library, Hist. or Archival Doc  
☐ Desktop Analysis ☐ MPS ☐ MRA ☐ TG ☐ Other: \_\_\_\_\_  
Document Destination: Plottable Projects Plotability: \_\_\_\_\_





SR 659 (Combee Rd.) from US 98 to N. Crystal Lake Drive  
 Township 28 South, Range 24 East, Sections 22, 27-28, 33-34  
 USGS Lakeland,  
 Polk County.

CRAS Technical Memorandum  
 State Road 659 (Combee Road) from US 98  
 to North Crystal Lake Drive  
 Polk County, Florida,  
 FPID No.: 440274-1-22-01